

HARTFORD BALLPARK PRELIMINARY SITE ANALYSIS

APRIL 04, 2014

SITE FESIBILITY - REVISION 03



LEGEND

- 01. Ballpark Main Entry - At Grade
- 02. Team Administration
- 03. 6,000 Seat Bowl
- 04. Grass Berm Seating
- 05. Outfield Concession/Toilet Building
- 06. Field Maintenance - At Grade
- 07. Field Truck Access
- 08. Outfield Entry
- 09. Future Adjacent Development
- 10. Suite Level
- 11. Concourse Toilets
- 12. Open Concourse

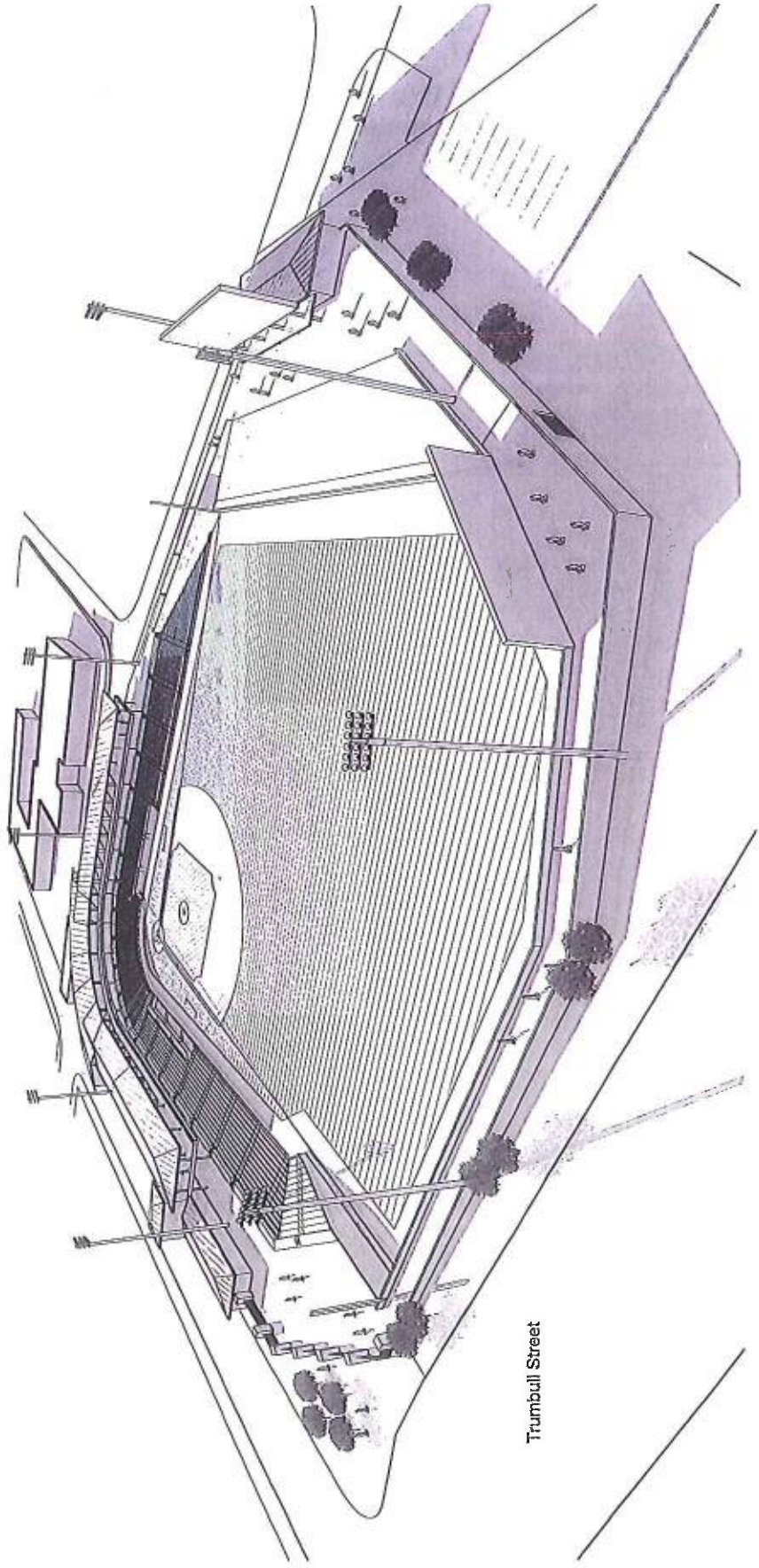
Advantages:

- 01. Slab On Grade Construction
- 02. Six Minute Walk From Downtown
- 03. View To Downtown Skyline
- 04. Compact Site Footprint

Disadvantages:

- 01. Requires Reorientation Of Trumbull Street
- 02. Compact Site Footprint
- 03. No On-Site Parking





Trumbull Street

LEGEND

- 01. Ballpark Main Entry - At Grade
- 02. Team Administration
- 03. Community Green Space
- 04. Outfield Concourse
- 05. Service Yard/Field Access
- 06. Right Field Concourse - Above Grade
- 07. Exit Stair
- 08. Parking (250)
- 09. 6,000 Seat Bowl
- 10. Suite Level
- 11. Elevated Concourse
- 12. Clubhouse - At Grade
- 13. Flood Wall

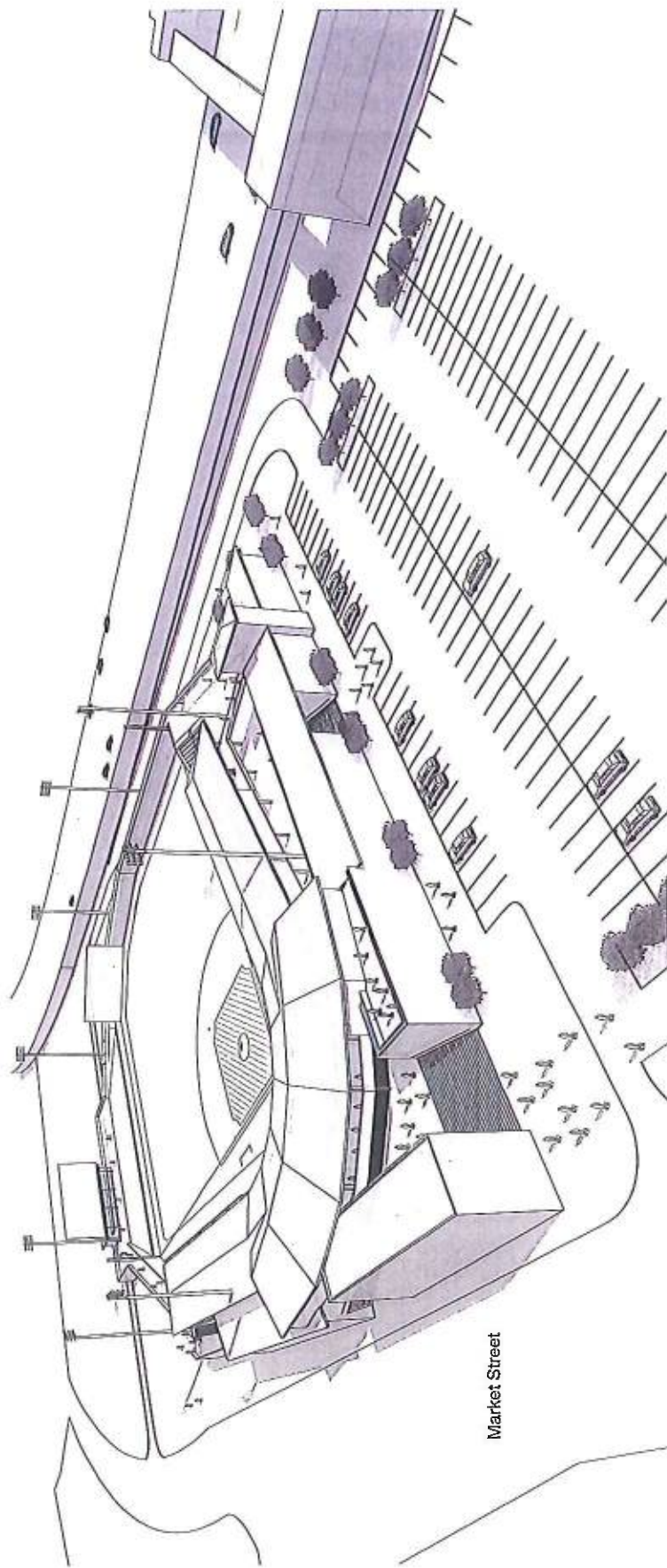
Advantages:

- 01. Ideal Field Orientation - N/NE
- 02. Highway Visibility
- 03. Frees Up Alternate Sites For Development

Disadvantages:

- 01. Site Is In Flood Zone
- 02. Remote Pedestrian Connection From Parking
- 03. Requires Larger Site Footprint





Market Street

SITE "B" COMPARISON

Ballpark: Slugger Field - Louisville, KY
Size: Class AAA - 11,000 Seats
Completed: 2000
Budget: \$42,000,000

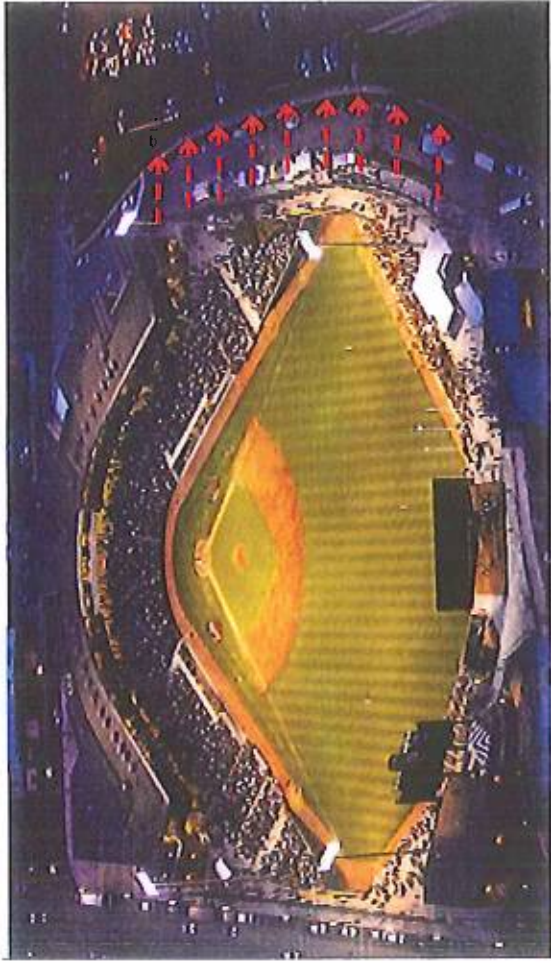
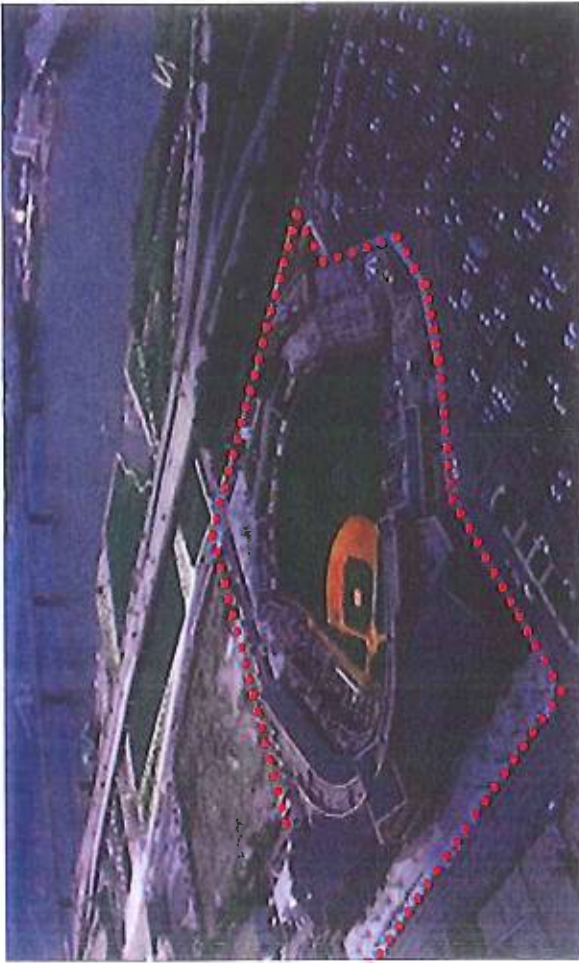
The ballpark was constructed in a flood plain on the site of a former railroad roundhouse and metal scrap yard.

To combat high water levels in the event of a flood the ballpark Army Core of Engineers flood deterrent planking was incorporated in the perimeter fencing system.

SITE "A" COMPARISON

Ballpark: Dozer Park - Peoria, IL
Size: Class A - 4,500 Seats
Completed: 2002
Budget: \$16,000,000

The ballpark was constructed adjacent to Caterpillar headquarters. In an effort fit the ballpark within the existing narrow City grid we were required to reorient a major thoroughfare down the left field line.

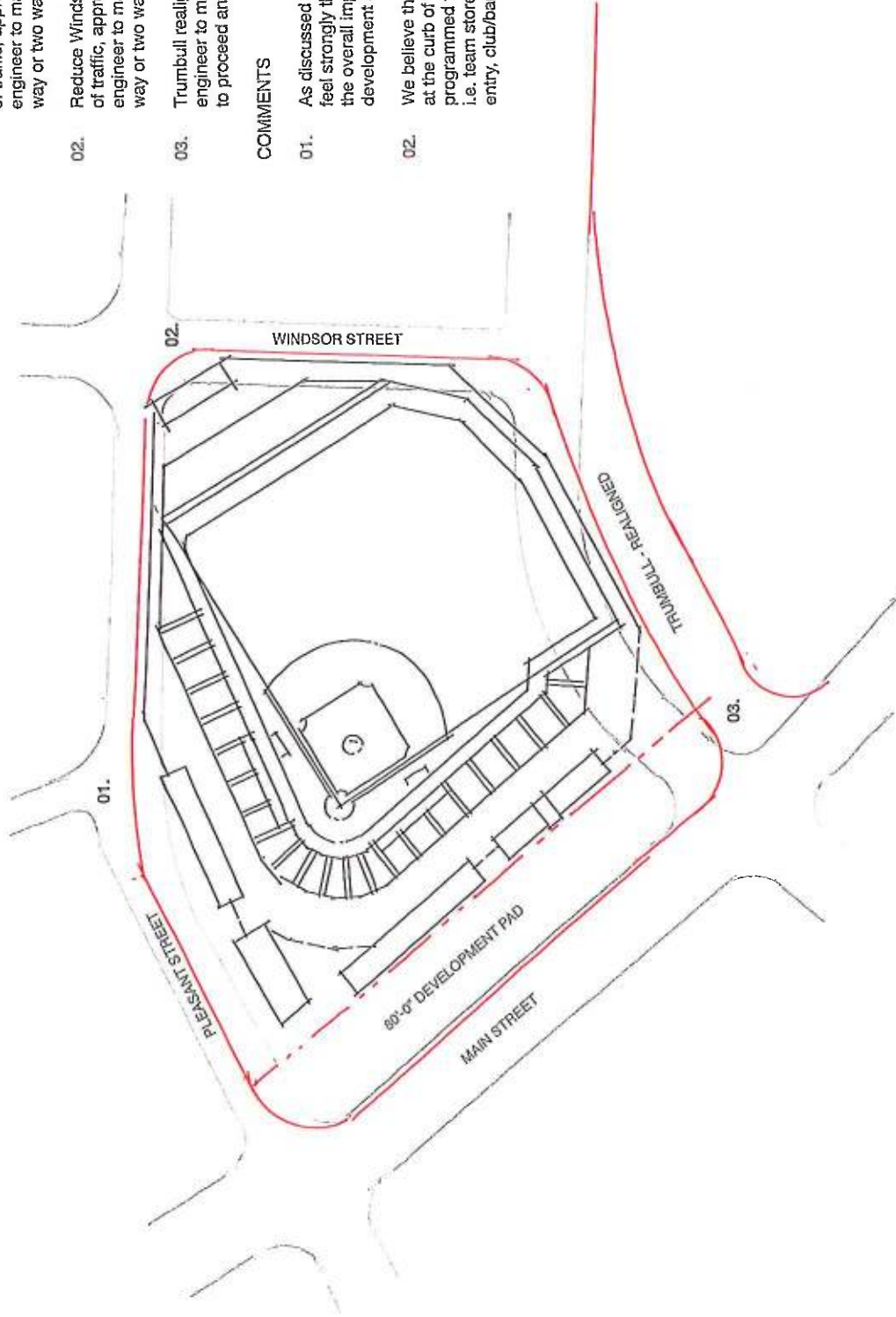


LEGEND

- 01. Reduce Pleasant Street down to two lanes of traffic, approximately 24'-0" wide. Traffic engineer to make a recommendation on one way or two way direction of travel.
- 02. Reduce Windsor Street down to two lanes of traffic, approximately 24'-0" wide. Traffic engineer to make a recommendation on one way or two way direction of travel.
- 03. Trumbull realignment is required. Traffic engineer to make a recommendation on how to proceed and meet City/State code.

COMMENTS

- 01. As discussed in our last conference call we feel strongly that this site diagram reduces the overall impact of the ballpark as a development anchor.
- 02. We believe the ballpark should be featured at the curb of Main Street and programmed to feature "retail type" spaces i.e. team store, team administration, VIP/suite entry, club/banquet entry, and restaurant.



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- 03. Trumbull realignment is required. Traffic engineer to make a recommendation on how to proceed and meet traffic requirements.

Note:

In this scenario the impact on Trumbull is reduced.

- 04. Restaurant/Retail Pad that compliments the ballpark - i.e. sports bar, pub, etc.
- 05. Team Store/Administration storefront
- 06. VIP/Banquet Entry or other storefront

COMMENTS

- 01. This site configuration provides the City and the ball club with the most flexibility and opportunity for development - especially in the outfield. Although Windsor will still need to be reduced in width (down to two lanes), it accommodates a new development in the ideal location adjacent to the ballpark in the outfield.

