



# QUISENBERRY ARCARI

---

## ARCHITECTS, LLC

318 Main Street, Farmington, CT 06032    www.qa-architects.com    t (860) 677 - 4594    f (860) 677 - 8534

REHABILITATION / RECONSTRUCTION WORK FOR:

# BARBARA PAWLOSKI

APPLICANT #1024

ISSUE DATE: JUNE 23, 2014

653 WILLOW STREET

WATERBURY, CONNECTICUT

### LIST OF DRAWINGS

- COVER
- G1.0 GENERAL NOTES
- HM-01 HAZARDOUS MATERIAL ABATEMENT - 1ST FLOOR
- HM-02 HAZARDOUS MATERIAL ABATEMENT - 2ND FLOOR
- HM-03 HAZARDOUS MATERIAL ABATEMENT - ROOF
- D1.0 DEMO ROOF PLAN
- A1.0 ROOF PLAN
- A2.0 ROOF DETAILS

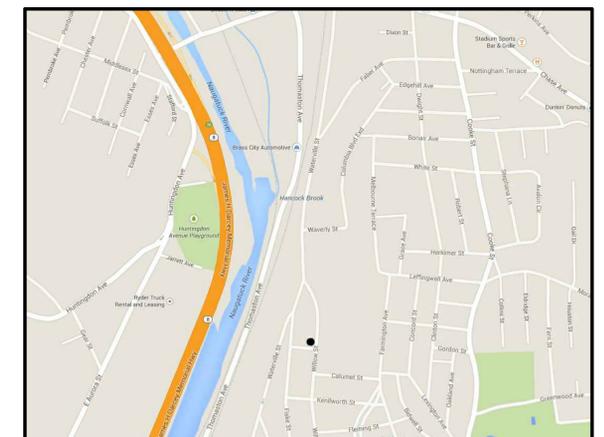
### COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

### OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM  
THE CONNECTICUT DEPARTMENT OF HOUSING



### LOCATION MAP



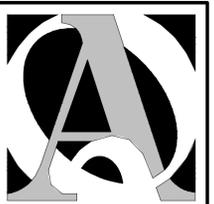
ABBREVIATIONS			
A.F.F.	Above Finish Floor	HGT.	Height
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal
A.C.T.	Acoustical Tile	HORIZ.	Horizontal
A/C	Air Conditioning	H.B.	Hose Bibb
A.H.U.	Air Handling Unit	IN.	Inch
ALT.	Alternate	INCL.	Included
ALUM.	Aluminum	INFO.	Information
ALF.	Aluminum Frame	I.D.	Inside Diameter
ANCH.	Anchor, Anchorage	INSUL.	Insulation
AB.	Anchor Bolt	INT.	Interior
L.	Angle	JT.	Joint
ANOD.	Anodized	K.P.	Kick Plate
APPR.	Approved	LAB	Laboratory
ARCH.	Architect, Architectural	LAV.	Lavatory
ASB.	Asbestos	LTG.	Lighting
A.P.B.O.	As Provided By Owner	MACH.	Machine
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance
ASPH.	Asphalt	MFRG.	Manufacturer
ASSY.	Assembly	M.BD.	Marker Board
ASST.	Assistant	MAS.	Masonry
AUTO.	Automatic	M.O.	Masonry Opening
BM	Beam	MAT.	Material
BRG.	Beaming	MAX.	Maximum
BEV.	Bevel, Beveled	MECH.	Mechanical
BIT.	Bituminous	MEZZ.	Mezzanine
BLK.	Block	MIN.	Minimum
BLKG.	Blocking	MISC.	Miscellaneous
BD.	Board	N	North
BOT.	Bottom	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
B.E.J.	Brck Expansion Joint	OFF.	Office
BLDG.	Building	O.C.	On Center
B.U.R.	Built Up Roofing	O.H.	Overhead
CAB.	Cabinet	O.D.	Outside Diameter
C.U.H.	Cabinet Unt Heater	PTD.	Painted
CAP.	Capacity	PR.	Pair
CASE	Casement	P.T.D.	Paper Towel Dispenser
CLG.	Ceiling	PASS.	Passage
CLGHT.	Ceiling Height	PERP.	Perpendicular
CEM.	Cement	PLAS.	Plaster
CTR.	Center	PLAM.	Plastic Laminate
CL.	Centerline	PL.	Plate
C.T.	Ceramic Tile	PLUMB.	Plumbing
C.BD.	Chalk Board	PLYWD.	Plywood
CLO.	Closet	PVC.	Polyvinylchloride
COL.	Column	P.E.J.	Precast Expansion Joint
CONC.	Concrete	PREFAB.	Prefabricated
CONF.	Conference	QTY.	Quantity
CJ	Control Joint	Q.T.	Quarry Tile
CONT.	Continuous	RAD.	Radius
CONTR.	Contractor	RWC	Rain Water Conductor
CORR.	Corridor	RECV.	Receiving
CRS.	Course, Courses	REFR.	Refrigerator
DEG.	Degree	REINF.	Reinforce
DEMO.	Demolition	REM	Remove
DEPT.	Department	REQD	Required
DET.	Detail	REV.	Revised, Revision
DIA.	Diameter	R.	Riser
DIM.	Dimension	R.D.	Roof Drain
DIST.	Distance	RM.	Room
DR.	Door	S.N.D.	Sanitary Napkin Dispenser
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle
D.H.	Double Hung	SCHED.	Schedule
DN	Down	SC.	Scupper
D.S.	Downspout	SECT.	Section
DWG.	Drawing	S.J.	Seismic Joint
D.F.	Drinking Fountain	SHT.	Sheet
EA.	Each	SIM.	Similar
ELEC.	Electric, Electrical	S.D.	Soap Dispenser
EWC.	Electric Water Cooler	S.T.D.	Sound Transmission Class
EL.	Elevation	S.T.C.	Sound Transmission Coefficient
ELEV.	Elevator	SPEC.	Specifications
EMERG.	Emergency	SQ.	Square
EQ.	Equal	S.F.	Square Feet
EQUIP.	Equipment	S.S.	Stainless Steel
EXIST.	Existing	STD.	Standard
E.T.R.	Existing To Remain	STL.	Steel
EXP.	Expansion	STOR.	Storage
E.J.	Expansion Joint	STRUCT.	Structure, Structural
EXT.	Exterior	S.STL.	Structural Steel
E.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board
FIN.	Finish, Finished	THRU	Through
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser
F.R.	Fire Retardant	T.M.E.	To Match Existing
FPRFG.	Fireproofing	T&G	Tongue and Groove
FIXT.	Fixture	T.O.	Top Of
FLASH.	Flashing	T.	Tread
FLR.	Floor	TYP.	Typical
F.D.	Floor Drain	U.L.	Underwriter's Laboratory
FLR.FIN.	Floor Finish	U.H.	Unit Heater
FTG.	Footing	U.V.	Unit Ventilator
FDN	Foundation	U.O.N.	Unless Otherwise Noted
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile
GA.	Gauge	W.P.	Waterproofing
GALV.	Galvanized	W.W.F.	Welded Wire Fabric
GYP. BD.	Gypsum Board	W.BD.	White Board
G.C.	General Contractor	W	With
H.C.	Handicapped	WD.	Wood

- | GENERAL NOTES |  |
|---------------|--|
| 1.            | ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT. |
| 2.            | NOTIFY QUISENBERRY ARCARI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.  |
| 3.            | THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.   |
| 4.            | UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.   |
| 5.            | PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE BY THE OWNER.   |
| 6.            | EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.  |

- | WOOD |  |
|------|--|
| 1.   | ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION AND THE "MANUAL OF HOUSE FRAMING" AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.  |
| 2.   | UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS:<br>A. INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE HEM-FIR #2 OR BETTER<br>B. EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 18 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE.<br>C. PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (510). PLYWOOD FLOOR DECKING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS.<br>I. ROOF SHEATHING: C-D/EXT-APA, 1/2" THICK<br>II. WALL SHEATHING: C-D/EXT-APA, 1/2" THICK<br>III. SUBFLOORING: C-D/EXT-APA, 3/4" THICK |
| 3.   | NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE'S "RECOMMENDED FASTENING SCHEDULE". NAIL PLYWOOD SHEATHING AND SUBFLOORING 6" O.C AT EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS, LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.  |
| 4.   | INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.   |
| 5.   | NOTCHING SHALL NOT EXCEED 1/6TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.   |
| 6.   | HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.  |
| 7.   | ENGINEERED LUMBER INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. JOISTS LABELED TJI ARE COMPOSITE I-JOISTS AS MANUFACTURED BY TRUS-JOIST. MEMBERS LABELED LVL ARE LAMINATED VENEER LUMBER (1.9E MICROLAM BY TRUS-JOIST). THE SUBSTITUTION OF OTHER PRODUCTS ARE ONLY PERMITTED WITH BACKUP ENGINEERING PLANS AND CALCULATIONS.  |

- | CONCRETE MASONRY |  |
|------------------|--|
| 1.               | ALL MASONRY SHALL CONFORM TO AND BE ERECTED IN ACCORDANCE WITH ACI 530 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND ACI 530.1 SPECIFICATION FOR MASONRY STRUCTURES.                 |
| 2.               | ALL MASONRY WALLS ARE TO BE CONSTRUCTED OF CONCRETE MASONRY WITH COMPRESSIVE STRENGTH F <sub>m</sub> = 1500 P.S.I. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING MASONRY STRENGTH AS SPECIFIED. |
| 3.               | TYPE "M" OR "S" MORTAR SHALL BE USED IN ALL MASONRY.   |

- | THERMAL & MOISTURE PROTECTION |   |
|-------------------------------|---|
| 1.                            | PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING (WHERE NOTED):<br>A. EXTERIOR WALLS: R-19 MINIMUM<br>B. SLOPED CEILINGS: R-30 MINIMUM<br>C. FLAT CEILINGS: R-38 MINIMUM<br>D. CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM<br>E. CEILINGS OVER BASEMENT: R-21 MINIMUM |
| 2.                            | INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.   |
| 3.                            | DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE F5K FOIL TO PROTECT EXPOSED INSULATION.   |



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

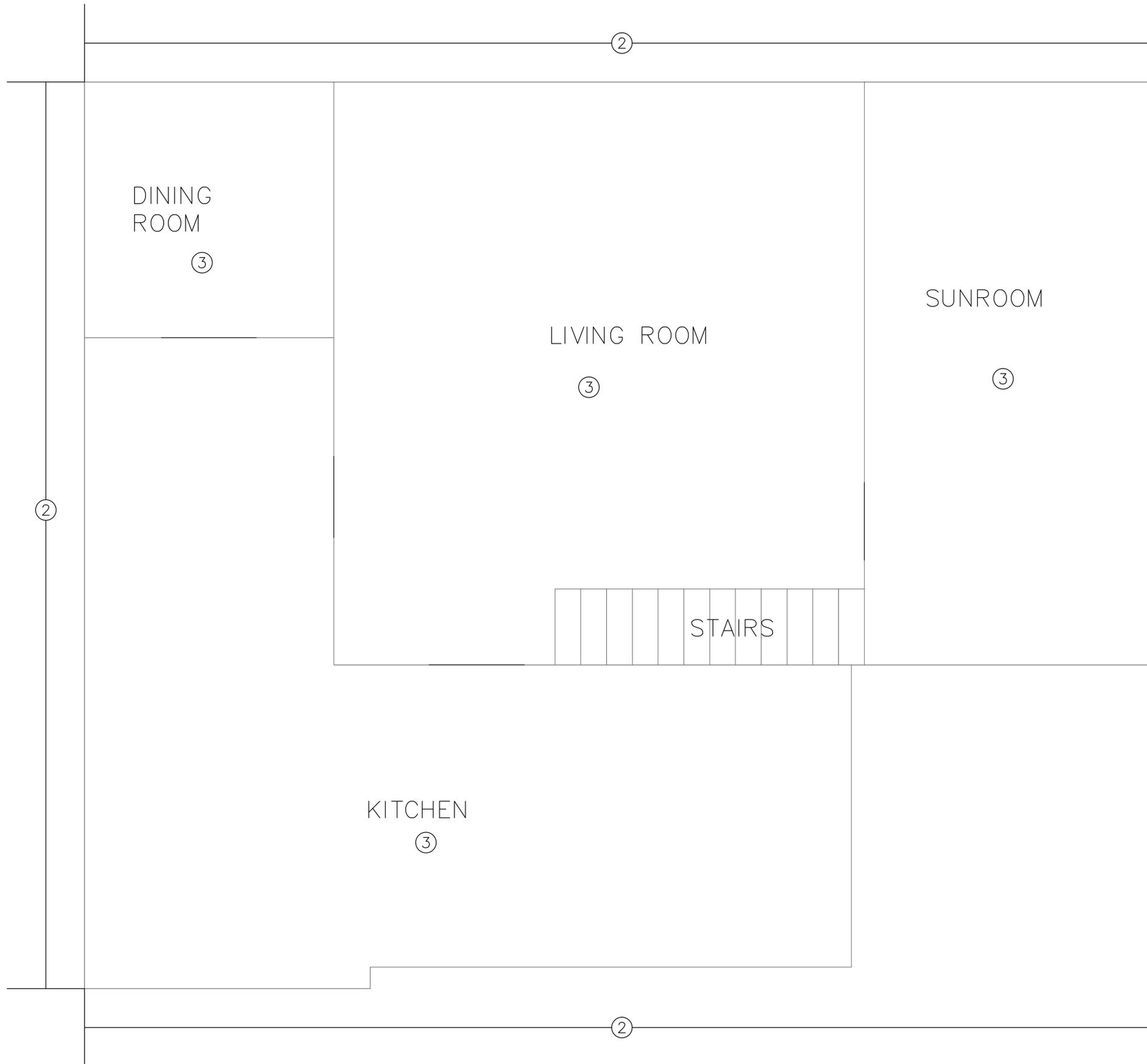
**BARBARA PAWLOSKI**  
APPLICANT #1024  
653 WILLOW STREET  
WATERBURY, CT

Sheet Description:  
**GENERAL NOTES**

Issue Dates:  
JUNE 23, 2014

No Scale

Project #: QA 1346-08  
Drawn By: AMT  
Sheet #: **G1.0**



**HAZARDOUS MATERIALS ABATEMENT NOTES**

- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING FLASHING/TAR ON ROOF GUTTERS AS ACM.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL COVER SOIL LEAD HAZARD WITH LANDSCAPE FABRIC AND CRUSHED STONE.
- ③ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL WASH WINDOW SILLS WITH TSP AND HEPA VACUUM DUST LEAD HAZARD. CLEANING SUPPLIES AND WASTE GENERATED DURING CLEANING SHALL BE DISPOSED OF AS HAZARDOUS LEAD WASTE.

**GENERAL PROJECT NOTES**

THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.



**QUISENBERRY ARCARI  
ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

**FUSS & O'NEILL**  
EnviroScience, LLC  
56 QUARRY ROAD  
TRUMBULL, CONNECTICUT 06611  
203.753.3838  
www.fussandoneill.com



REHABILITATION/RECONSTRUCTION WORK FOR:

**BARBARA PAWLOSKI**

APPLICANT #1024

653 WILLOW STREET WATERBURY, CT

Sheet Description:

HAZARDOUS  
MATERIALS  
ABATEMENT  
—  
FIRST  
FLOOR

Issue Dates:

(INSERT BID DATE)

Project #:  
QA 1346-08

Drawn By:  
AMT

Sheet #:

HM-01



**QUISENBERRY ARCARI  
ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

**FUSS & O'NEILL**  
EnviroScience, LLC  
56 QUARRY ROAD  
TRUMBULL, CONNECTICUT 06611  
203.753.9388  
www.fussandoneill.com



REHABILITATION/RECONSTRUCTION WORK FOR:

**BARBARA PAWLOSKI**

APPLICANT #1024

WATERBURY, CT

653 WILLOW STREET

Sheet Description:

HAZARDOUS  
MATERIALS  
ABATEMENT  
—  
SECOND  
FLOOR

Issue Dates:

(INSERT BID DATE)

Project #:

QA 1346-08

Drawn By:

AMT

Sheet #:

HM-02



HAZARDOUS MATERIALS ABATEMENT NOTES

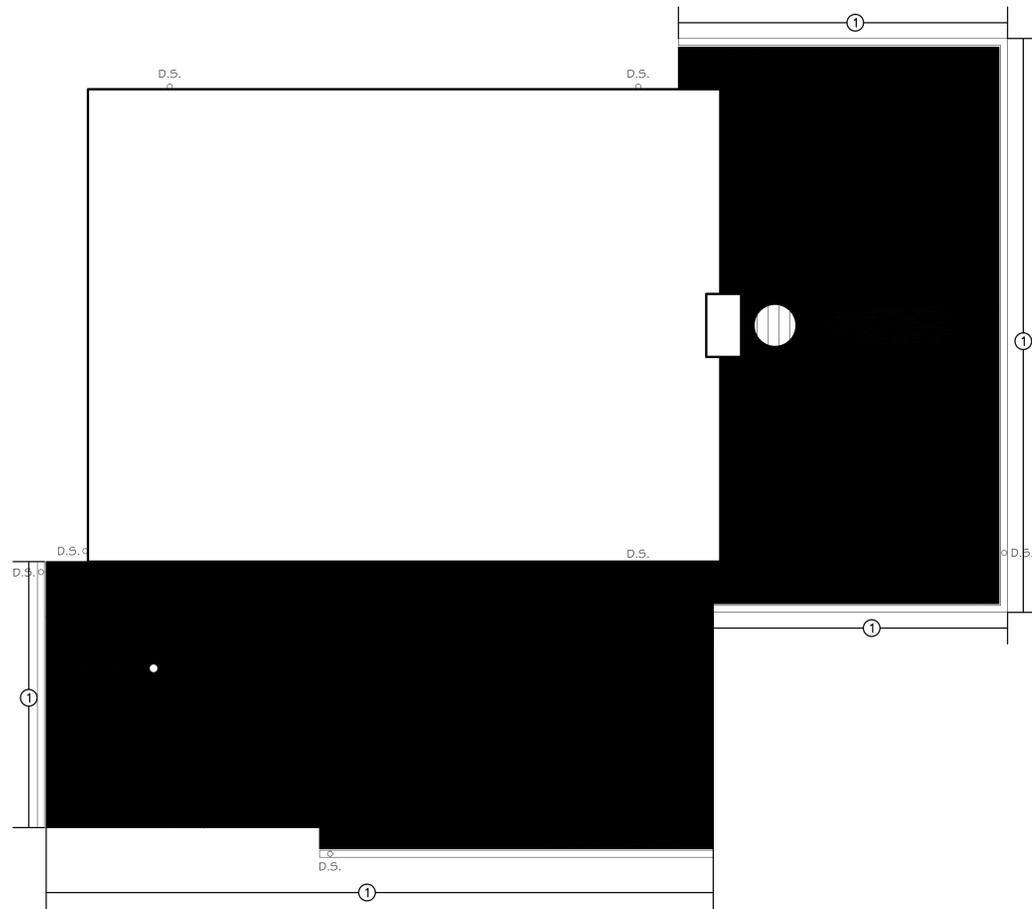
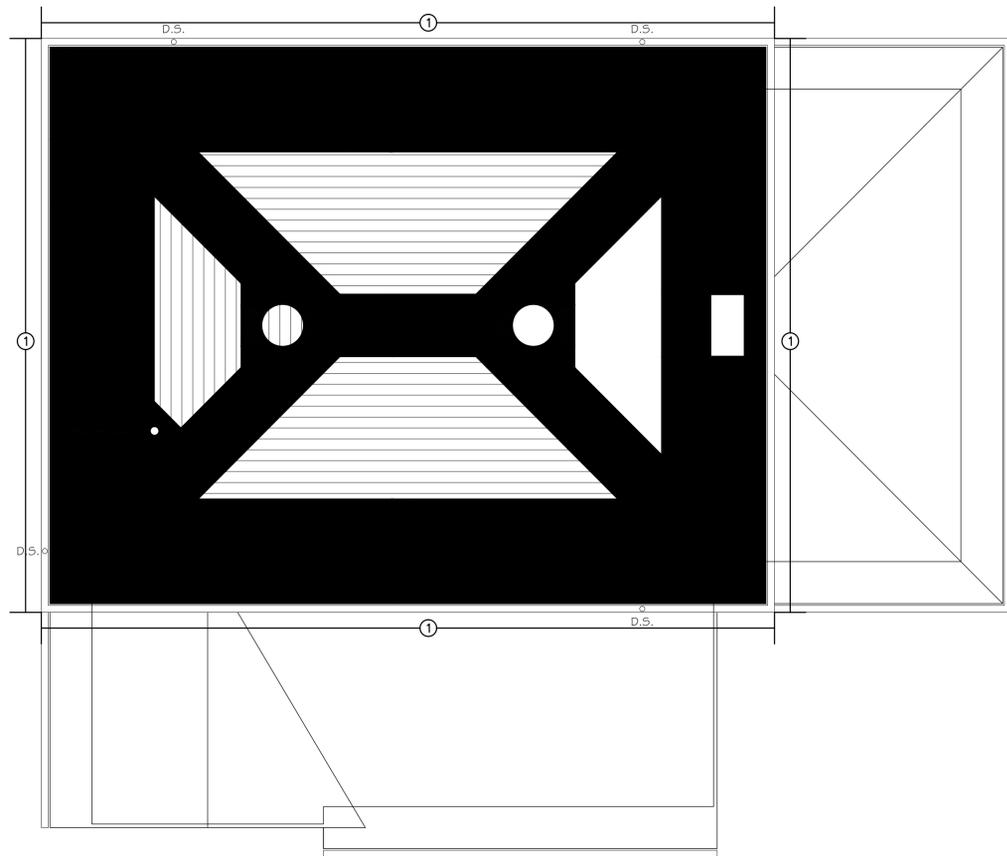
- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING FLASHING/TAR ON ROOF GUTTERS AS ACM.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL COVER SOIL LEAD HAZARD WITH LANDSCAPE FABRIC AND CRUSHED STONE.
- ③ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL WASH WINDOW SILLS WITH TSP AND HEPA VACUUM DUST LEAD HAZARD. CLEANING SUPPLIES AND WASTE GENERATED DURING CLEANING SHALL BE DISPOSED OF AS HAZARDOUS LEAD WASTE.

GENERAL PROJECT NOTES

THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.



**HAZARDOUS MATERIALS ABATEMENT NOTES**

- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING FLASHING/TAR ON ROOF GUTTERS AS ACM.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL COVER SOIL LEAD HAZARD WITH LANDSCAPE FABRIC AND CRUSHED STONE.
- ③ THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL WASH WINDOW SILLS WITH TSP AND HEPA VACUUM DUST LEAD HAZARD. CLEANING SUPPLIES AND WASTE GENERATED DURING CLEANING SHALL BE DISPOSED OF AS HAZARDOUS LEAD WASTE.

**GENERAL PROJECT NOTES**

THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

**FUSS & O'NEILL**  
 EnviroScience, LLC  
 56 QUARRY ROAD  
 TRUMBULL, CONNECTICUT 06611  
 203.753.3538  
 www.fussandoneill.com



REHABILITATION/RECONSTRUCTION WORK FOR:

**BARBARA PAWLOSKI**

APPLICANT #1024

653 WILLOW STREET WATERBURY, CT

Sheet Description:

HAZARDOUS MATERIALS ABATEMENT  
 -  
 ROOF

Issue Dates:

(INSERT BID DATE)

Project #: QA 1346-08

Drawn By: AMT

Sheet #:

HM-03



**QUISENBERRY ARCARI  
ARCHITECTS, LLC**  
www.qa-architects.com  
T (860) 677-4594  
F (860) 677-8534  
318 Main Street  
Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**BARBARA PAWLOSKI**

APPLICANT #1024

653 WILLOW STREET WATERBURY, CT

Sheet Description:

**DEMOLITION  
ROOF PLAN**

Issue Dates:

JUNE 23, 2014

1/4" = 1'-0"

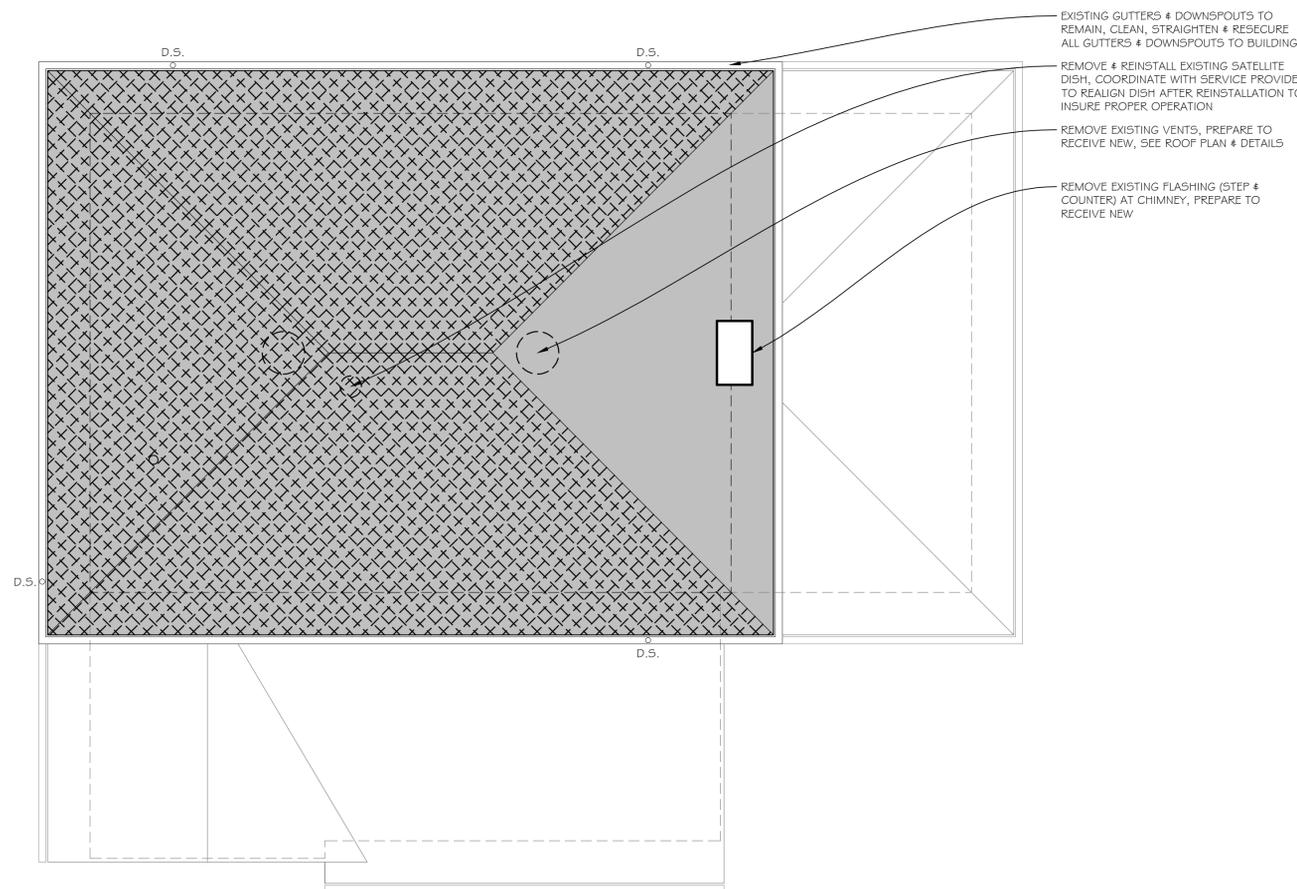
Project #: QA 1346-08  
Drawn By: AMT

Sheet #:

**D1.0**

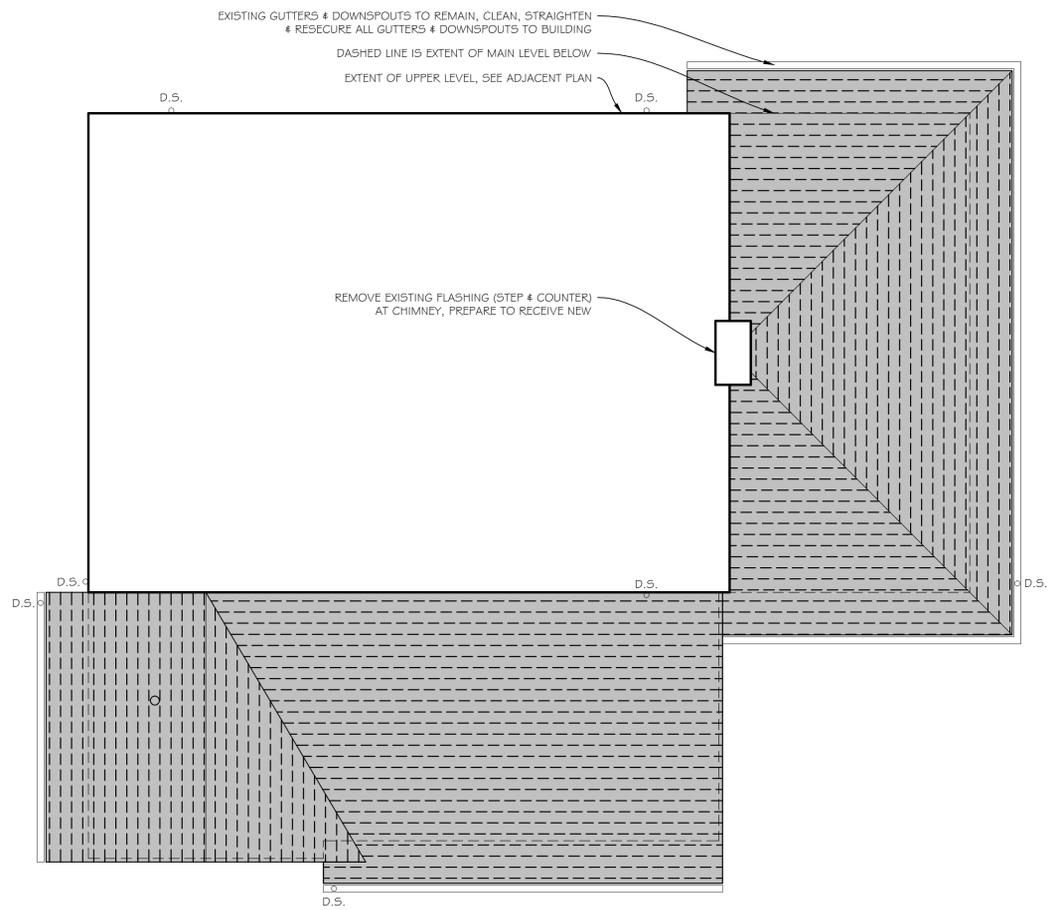
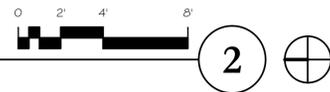
**DEMO ROOF PLAN KEY**

-  REMOVE ALL EXISTING ROOF SHINGLES & BUILDING PAPER DOWN TO EXISTING PLYWOOD SHEATHING, PREPARE EXISTING ROOF SHEATHING TO RECEIVE NEW, FIELD VERIFY EXTENTS
-  REMOVE ALL EXISTING PLYWOOD SHEATHING AND ADHERED ICE & WATER SHIELD WHERE INDICATED, PREPARE EXISTING FRAMING TO RECEIVE NEW PLYWOOD SHEATHING, FIELD VERIFY EXTENTS
-  REMOVE ALL EXISTING WOOD SHAKE ROOFING & ASSOCIATED T&G WOOD DECKING / STRAPPING UNDER ASPHALT SHINGLE ROOF DOWN TO EXISTING FRAMING, PREPARE AREA TO RECEIVE NEW SHEATHING & ROOF ASSEMBLY, FIELD VERIFY EXTENTS



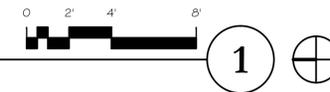
**DEMO ROOF PLAN - UPPER**

SCALE: 1/4" = 1'-0"



**DEMO ROOF PLAN - LOWER**

SCALE: 1/4" = 1'-0"



ROOF PLAN KEY

- A ARCHITECTURAL SHINGLES ON BUILDING PAPER ON, ICE & WATER SHIELD (WHERE NOTED), ON PLYWOOD ON EXISTING ROOF FRAMING, SHINGLE COLOR TO BE SELECTED BY OWNER, SEE SPEC FOR MORE INFORMATION
- EXTENT OF NEW PLYWOOD ROOF SHEATHING. PROVIDE & INSTALL NEW 5/8" PLYWOOD SHEATHING OVER EXISTING FRAMING, FIELD VERIFY EXTENTS
- ICE & WATER SHIELD, SEE PLANS & ROOF DETAILS FOR EXTENTS

GENERAL ROOFING NOTES:

ALL EXISTING PLUMBING VENTS ARE TO REMAIN, PROVIDE NEW ROOF VENT PIPE FLASHING, TYPICAL AT EACH VENT, FIELD VERIFY LOCATIONS, SEE DETAILS FOR MORE INFORMATION, SEE DETAIL 7 / A2.0

REMOVE ALL EXISTING BATHROOM & KITCHEN FAN ROOF JACKS (VENT CAPS), DISCONNECT EXISTING DUCTWORK, PREPARE ROOF SURFACE TO RECEIVE NEW. PROVIDE & INSTALL NEW BATHROOM & KITCHEN FAN ROOF JACKS (VENT CAPS), RECONNECT EXISTING DUCTWORK TO ROOF JACK (VENT CAP). NEW ROOF JACKS (VENT CAPS) ARE TO MATCH EXISTING IN SIZE & APPEARANCE, FIELD VERIFY LOCATIONS, SEE DETAIL 8 / A2.0

CUT IN NEW RIDGE VENTING, SEE PLANS & DETAILS FOR FURTHER INFORMATION & EXTENTS OF RIDGE VENTING, SEE DETAIL 4 / A2.0

PATCH & REPAIR ALL GRASS AREAS, WALKWAYS, DRIVEWAYS DISTURBED BY THE ROOF CONSTRUCTION, DISTURBED AREAS ARE TO MATCH EXISTING

REMOVE & DISPOSE OF ALL VEGETATION GROWING ON ALL EXISTING GUTTERS & DOWNSPOUTS

ALL EXISTING EXISTING GUTTERS, DOWNSPOUTS & ASSOCIATED MOUNTING HARDWARE ARE TO REMAIN. CLEAN ALL GUTTERS & DOWNSPOUTS, STRAIGHTEN & RESECURE TO THE BUILDING. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUT OUTLETS AT GRADE, TYPICAL, SEE DETAIL 15 / A2.0

GRIND OUT & REPOINT ALL EXPOSED FACES OF THE CHIMNEY, FIELD VERIFY EXTENTS, SEE DETAIL 16 / A2.0 FOR MORE INFORMATION

REBUILD CHIMNEY CROWN PRIOR TO INSTALLATION OF NEW CHIMNEY CAP

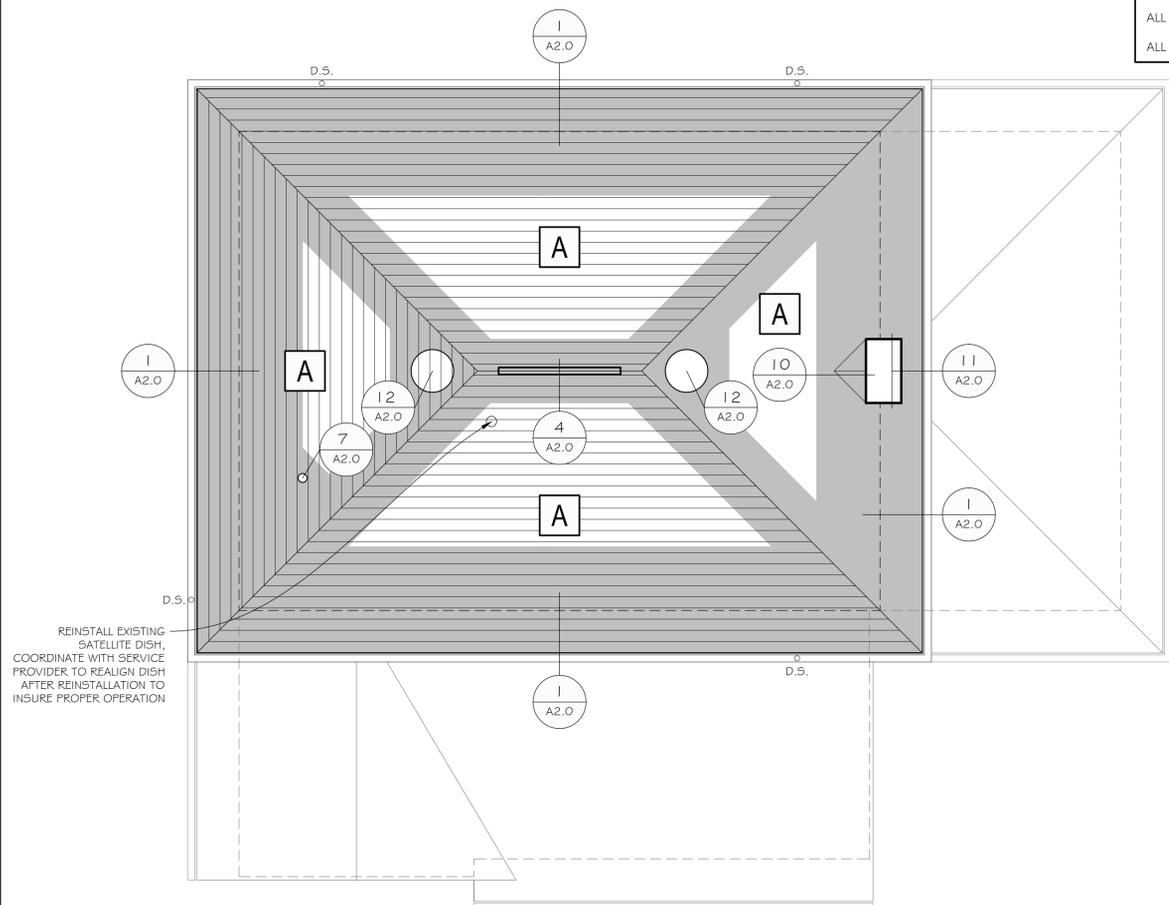
PROVIDE & INSTALL NEW FULL WIDTH STAINLESS STEEL CHIMNEY CAP

SEE PLANS & DETAILS FOR ICE & WATER SHIELD LOCATIONS & EXTENTS

SEE PLANS FOR EXTENTS OF NEW PLYWOOD SHEATHING

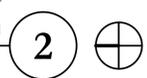
ALL OVERALL DIMENSIONS ARE TO BE VERIFIED IN FIELD PRIOR TO BIDDING

ALL ROOF PITCHES ARE TO BE VERIFIED IN FIELD PRIOR TO BIDDING



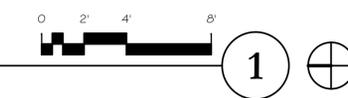
ROOF PLAN - UPPER

SCALE: 1/4" = 1'-0"



ROOF PLAN - LOWER

SCALE: 1/4" = 1'-0"



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

REHABILITATION/RECONSTRUCTION WORK FOR:

**BARBARA PAWLOSKI**

APPLICANT #1024

WATERBURY, CT

653 WILLOW STREET

Sheet Description:

ROOF PLAN

Issue Dates:

JUNE 23, 2014

1/4" = 1'-0"

Project #:  
QA 1346-08

Drawn By:  
AMT

Sheet #:

**A1.0**



**QUISENBERRY ARCARI ARCHITECTS, LLC**  
 www.qa-architects.com  
 T (860) 677-4594  
 F (860) 677-8534  
 318 Main Street  
 Farmington, CT 06032

**REHABILITATION/RECONSTRUCTION WORK FOR:**  
**BARBARA PAWLOSKI**  
 APPLICANT #1024  
 WATERBURY, CT  
 653 WILLOW STREET

**ROOF DETAILS**

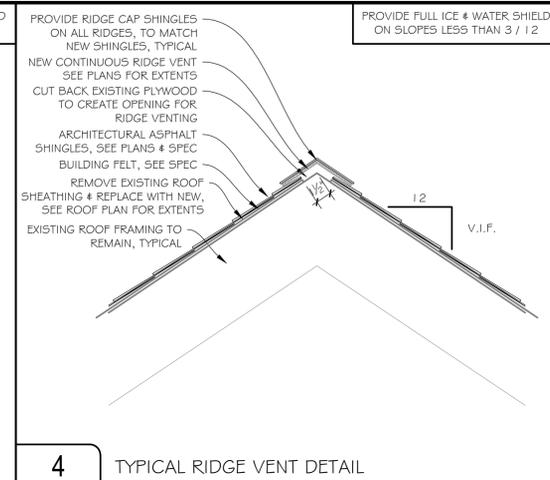
Sheet Description:

Issue Dates:  
 JUNE 23, 2014

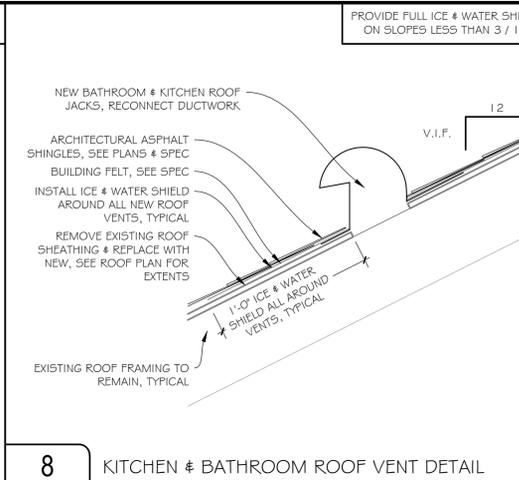
1/4" = 1'-0"

Project #: QA 1346-08  
 Drawn By: AMT

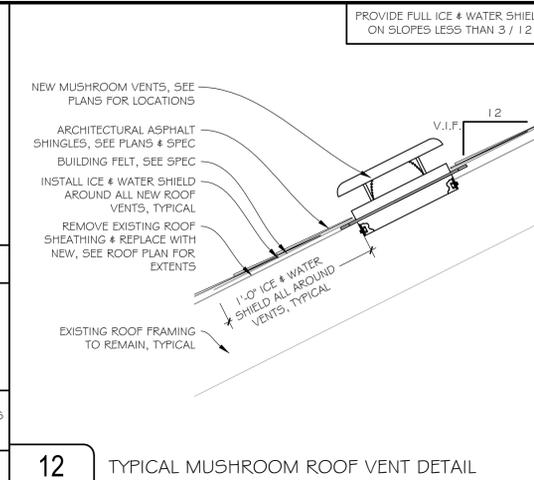
Sheet #:  
**A2.0**



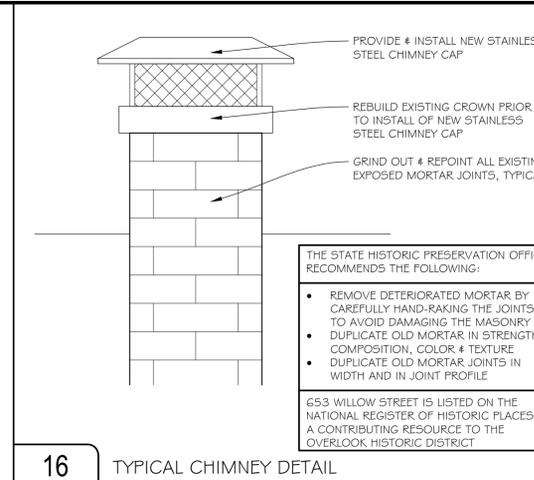
**4** TYPICAL RIDGE VENT DETAIL



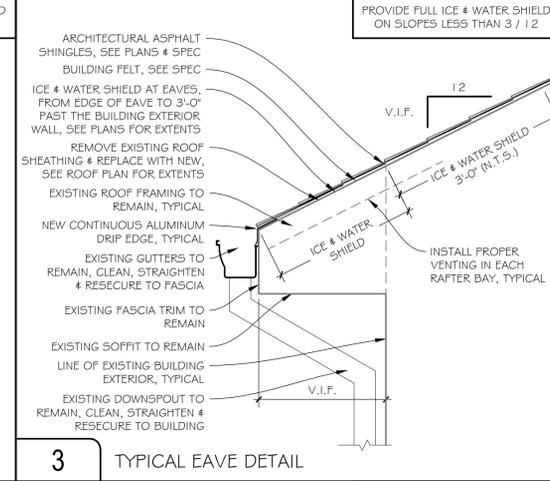
**8** KITCHEN & BATHROOM ROOF VENT DETAIL



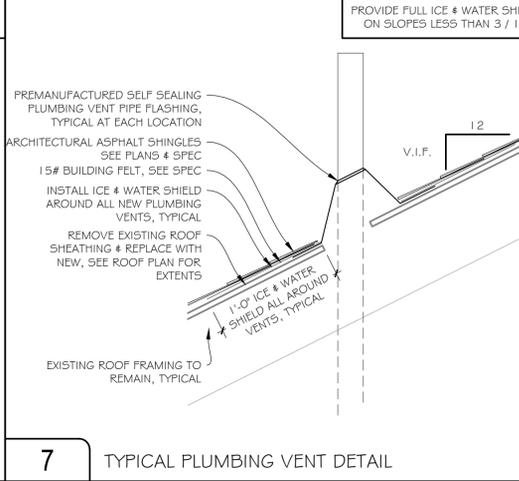
**12** TYPICAL MUSHROOM ROOF VENT DETAIL



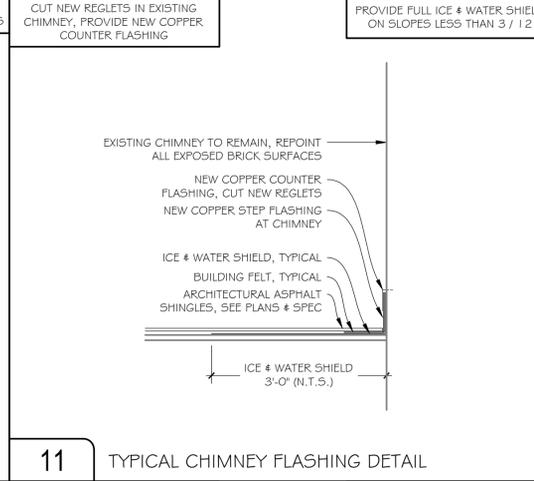
**16** TYPICAL CHIMNEY DETAIL



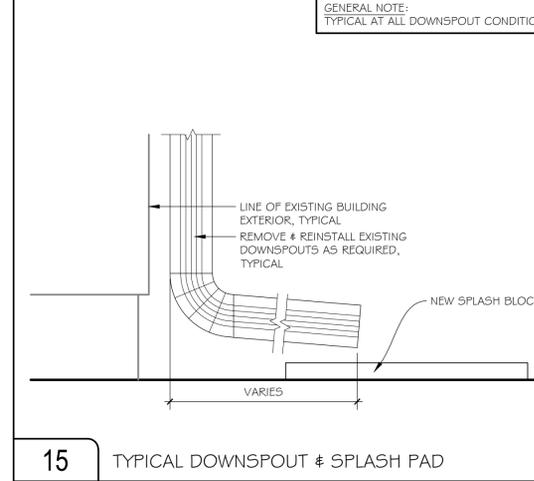
**3** TYPICAL EAVE DETAIL



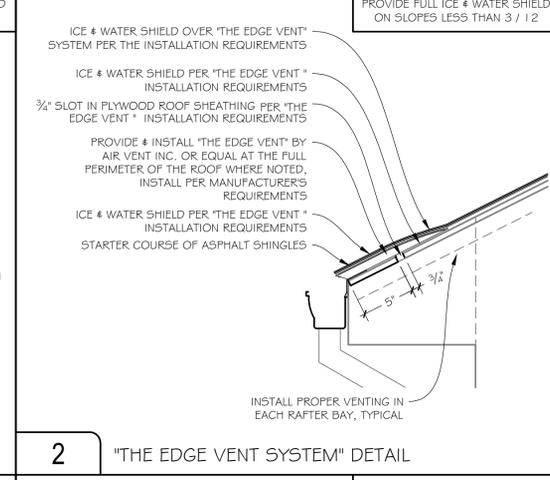
**7** TYPICAL PLUMBING VENT DETAIL



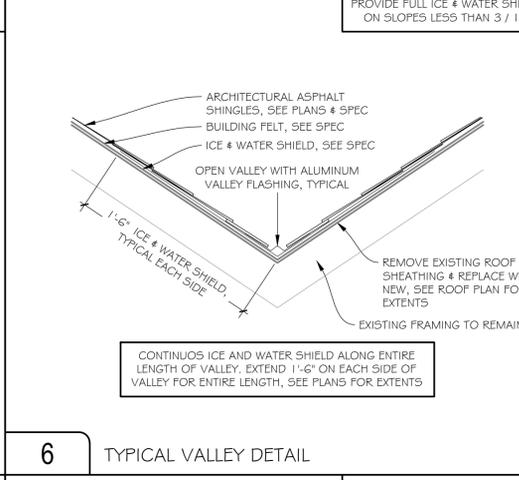
**11** TYPICAL CHIMNEY FLASHING DETAIL



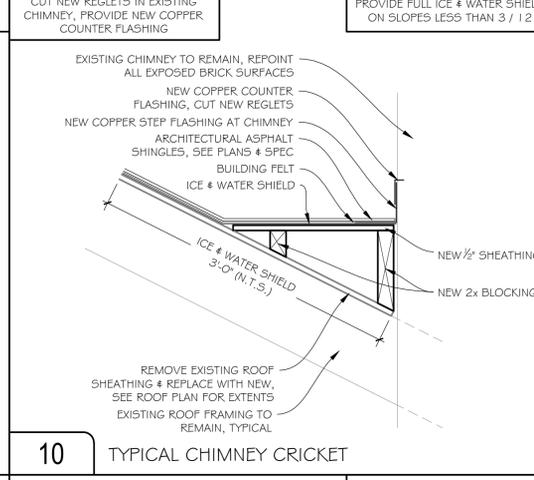
**15** TYPICAL DOWNSPOUT & SPLASH PAD



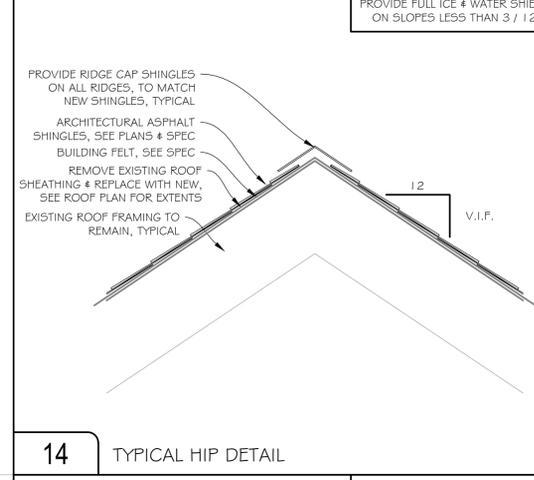
**2** "THE EDGE VENT SYSTEM" DETAIL



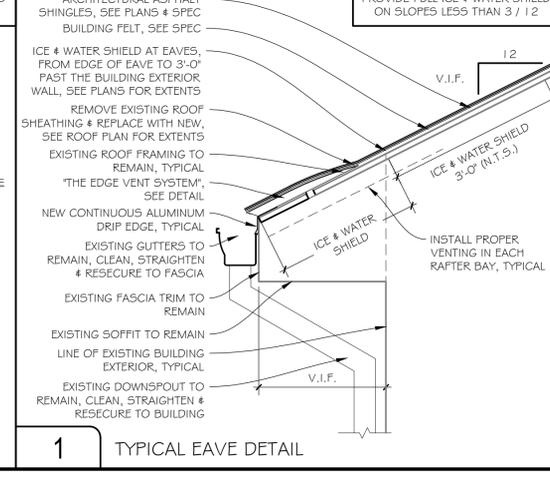
**6** TYPICAL VALLEY DETAIL



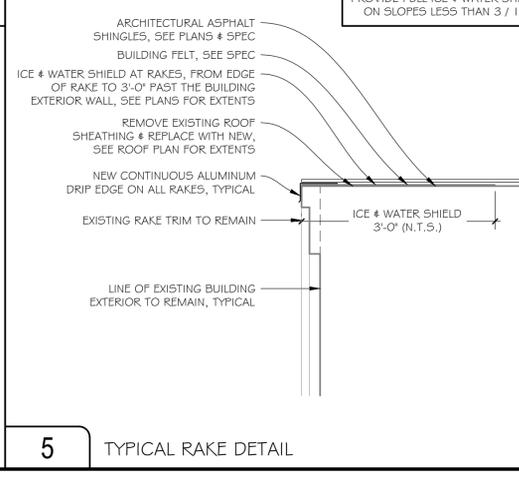
**10** TYPICAL CHIMNEY CRICKET



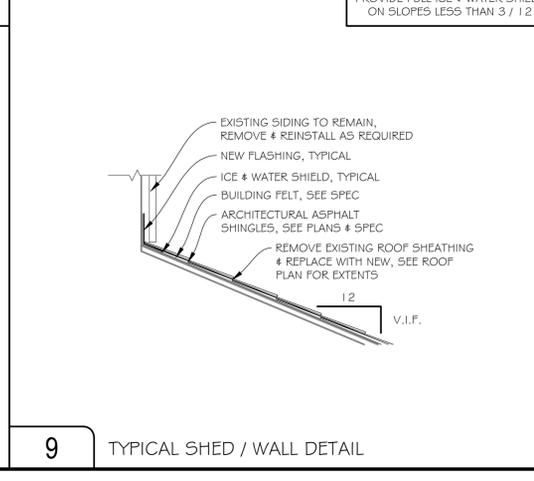
**14** TYPICAL HIP DETAIL



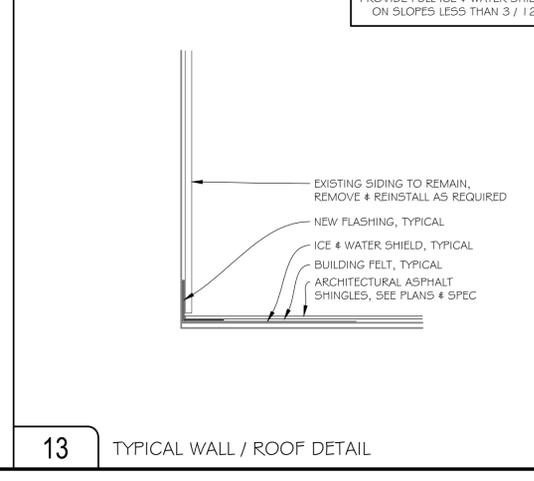
**1** TYPICAL EAVE DETAIL



**5** TYPICAL RAKE DETAIL



**9** TYPICAL SHED / WALL DETAIL



**13** TYPICAL WALL / ROOF DETAIL