



QUISENBERRY ARCARI ARCHITECTS, LLC

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REHABILITATION / RECONSTRUCTION WORK FOR:

CHERA SIMPSON

APPLICANT # 1377

ISSUE DATE: JULY 11, 2014

174 RODNEY STREET

WATERBURY, CONNECTICUT

LIST OF DRAWINGS

- COVER SHEET
- SURVEY
- GENERAL NOTES
- G1.0 DEMO PLAN - MAIN LEVEL
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- A1.0 MAIN LEVEL FLOOR PLAN
- A1.1 UPPER LEVEL FLOOR PLAN
- A1.2 EXTERIOR ELEVATIONS
- A2.0 ROOF PLAN
- A3.0 ROOF DETAILS
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- A4.0 WINDOW & DOOR SCHEDULES & DETAILS
- A5.0 FINISH SCHEDULE
- A6.0 MECHANICAL PLANS & DETAILS
- M1.1 ELECTRICAL PLANS
- E1.1

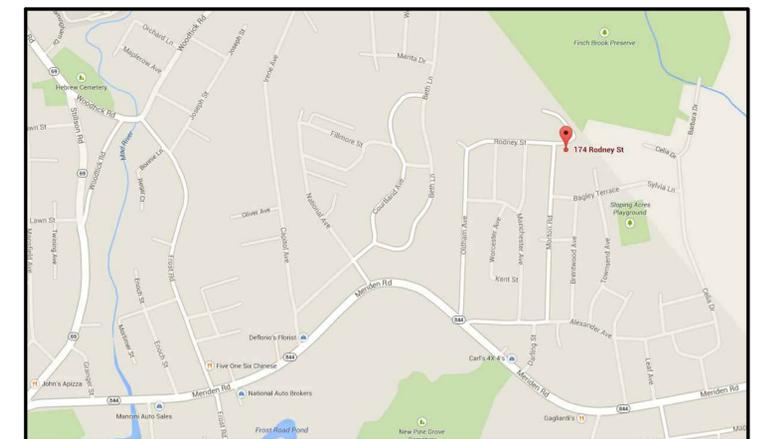
COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION & REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM
THE CONNECTICUT DEPARTMENT OF HOUSING

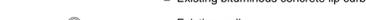


LOCATION MAP



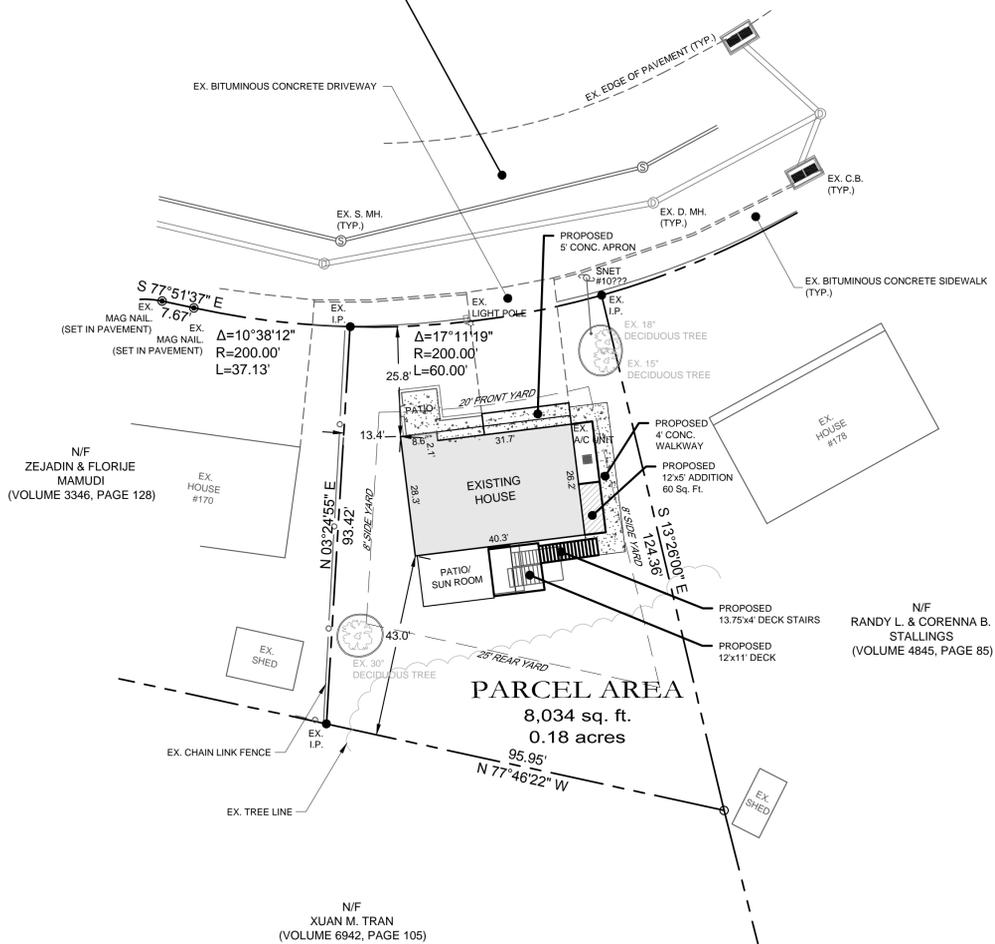
DRAWING NAME: D:\land\Projects\1175 - Quisenberry Arcari - Waterbury, CT\DWG\1175 - Zoning Map.dwg, DATE: 05/15/14, DRAWN BY: J. COLE

LEGEND

-  = Existing utility pole
-  = Existing light pole
-  = Existing fire hydrant
-  = Existing water valve
-  = Existing gas valve
-  = Existing underground pipe
-  = Existing edge of pavement
-  = Existing bituminous concrete lip curb
-  = Existing well
-  = Existing catch basin
-  = Existing drainage manhole
-  = Existing sanitary manhole
-  = Existing utility box
-  = Existing contour
-  = Existing spot elevation
-  = Existing iron pin
-  = Existing drill hole
-  = Existing monument
-  = Deep test location
-  = Percolation test location

Item:	Required:	Proposed:
- Lot Area	6,000 Sq. Ft.	8,034 Sq. Ft.
- Lot Width	60'	60.00'
- Front Yard	20'	28.8'
- Total Side Yard	16'	11'
- Rear Yard	25'	43.0'
- Impervious Coverage	50%	27.5%
- Building Height	2 1/2 Stories (35')	Under 35'

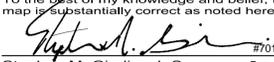
RODNEY STREET



PARCEL AREA
8,034 sq. ft.
0.18 acres

SURVEY NOTES:

1. This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
2. Type of survey performed: Zoning Location Survey - Proposed
3. Boundary determination category: Dependent Resurvey
4. Class of accuracy:
Horizontal: A-2
5. The intent of this map is to depict or note the position of existing or proposed improvements with respect to applicable municipal setback requirements.
6. Map References:
a) "Resubdivision Plan Of Subdivision Plan, Sloping Woods, Bagley Terrace, Waterbury, Connecticut, Scale: 1"=40', January 20, 1990, Sheet #6 Of 12" by James T. Meyers, L.S. #10838
7. Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
8. Zone: RL (Low Density Residential District)
9. Total area: 8,034 sq. ft. 0.18 acres
10. Owner: Simpson, Chera A.
11. City of Waterbury Assessor's Map #264, Parcel #35.
12. Deed filed in Volume 4845, Page 45 of the Town Clerk's office.
13. This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.

July 7, 2014	Add Walkway & Stairs
DATE	REVISION
To the best of my knowledge and belief, this map is substantially correct as noted hereon.	
	
Stephen M. Giudice, L.S.	Reg. No. #70145
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO	

PLOT PLAN
ZONING LOCATION SURVEY - PROPOSED
MAP #264, PARCEL #35
PREPARED FOR
QUISENBERRY ARCARI
ARCHITECTS, LLC
174 RODNEY STREET WATERBURY, CONNECTICUT
MAY 15, 2014 SCALE: 1"=20'

PROJECT #: 1176 F.B. #: 476 DWG. #:

cole
HARRY E. COLE & SON
engineering. surveying. planning.

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ABBREVIATIONS			
A.F.F.	Above Finish Floor	HGT.	Height
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal
A.C.T.	Acoustical Tile	HORIZ.	Horizontal
AC	Air Conditioning	H.B.	Hose Bibb
A.H.U.	Air Handling Unit	IN.	Inch
ALT.	Alternate	INCL.	Included
ALUM.	Aluminum	INFO.	Information
ALF.	Aluminum Frame	I.D.	Inside Diameter
ANCH.	Anchor, Anchorage	INSUL.	Insulation
AB.	Anchor Bolt	INT.	Interior
L	Angle	JT.	Joint
ANOD.	Anodized	K.P.	Kick Plate
APFR.	Approved	LAB	Laboratory
ARCH.	Architect, Architectural	LAV.	Lavatory
ASB.	Asbestos	LTG.	Lighting
A.P.B.O.	As Provided By Owner	MACH.	Machine
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance
ASPH.	Asphalt	MFRG.	Manufacturer
ASSY.	Assembly	M.BD.	Marker Board
ASST.	Assistant	MAS.	Masonry
AUTO.	Automatic	M.O.	Masonry Opening
BM	Beam	MAT.	Material
BRG.	Bearing	MAX.	Maximum
BEV.	Bevel, Beveled	MECH.	Mechanical
BIT.	Bituminous	MEZZ.	Mezzanine
BLK.	Block	MIN.	Minimum
BLKG.	Blocking	MISC.	Miscellaneous
BD.	Board	N	North
BOT.	Bottom	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
B.E.J.	Brick Expansion Joint	OFF.	Office
BLDG.	Building	O.C.	On Center
B.U.R.	Built Up Roofing	O.H.	Overhead
CAB.	Cabinet	O.D.	Outside Diameter
C.U.H.	Cabinet Unit Heater	PTD.	Painted
CAP.	Capacity	PR.	Pair
CASE	Casement	P.T.D.	Paper Towel Dispenser
CLG.	Ceiling	PASS.	Passage
CLGHT.	Ceiling Height	PERP.	Perpendicular
CEM.	Cement	PLAS.	Plaster
CTR.	Center	PLAM.	Plastic Laminate
CL.	Centerline	PL.	Plate
C.T.	Ceramic Tile	PLUMB.	Plumbing
C.BD.	Chalk Board	PLYWD.	Plywood
CLO.	Closet	P.V.C.	Polyvinylchloride
COL.	Column	P.E.J.	Precast Expansion Joint
CONC.	Concrete	PREFAB.	Prefabricated
CONF.	Conference	QTY.	Quantity
CJ	Control Joint	Q.T.	Quarry Tile
CONT.	Continuous	RAD.	Radius
CONTR.	Contractor	RWC	Rain Water Conductor
CORR.	Corridor	RECV.	Receiving
CRS.	Course, Courses	REFR.	Refrigerator
DEG.	Degree	REINF.	Reinforce
DEMO.	Demolition	REM	Remove
DEPT.	Department	REQD	Required
DET.	Detail	REV.	Revised, Revision
DIA.	Diameter	R.	Riser
DIM.	Dimension	R.D.	Roof Drain
DIST.	Distance	RM.	Room
DR.	Door	S.N.D.	Sanitary Napkin Dispenser
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle
D.H.	Double Hung	SCHED.	Schedule
DN	Down	SC.	Scupper
D.S.	Downspout	SECT.	Section
DWG.	Drawing	S.J.	Seismic Joint
D.F.	Drinking Fountain	SHT.	Sheet
EA.	Each	SIM.	Similar
ELEC.	Electric, Electrical	S.D.	Soap Dispenser
EWC.	Electric Water Cooler	S.T.D.	Sound Transmission Class
EL.	Elevation	S.T.C.	Sound Transmission Coefficient
ELEV.	Elevator	SPEC.	Specifications
EMERG.	Emergency	SQ.	Square
EQ.	Equal	S.F.	Square Feet
EQUIP.	Equipment	S.S.	Stainless Steel
EXIST.	Existing	STD.	Standard
E.T.R.	Existing To Remain	STL.	Steel
EXP.	Expansion	STOR.	Storage
E.J.	Expansion Joint	STRUCT.	Structure, Structural
EXT.	Exterior	S.STL.	Structural Steel
E.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board
FIN.	Finish, Finished	THRU	Through
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser
F.R.	Fire Retardant	T.M.E.	To Match Existing
FPRFG.	Fireproofing	T&G	Tongue and Groove
FIXT.	Fixture	T.O.	Top Of
FLASH	Flashing	T.	Tread
FLR.	Floor	TYP.	Typical
F.D.	Floor Drain	U.L.	Underwriter's Laboratory
FLR.FIN.	Floor Finish	U.H.	Unit Heater
FTG.	Footing	U.V.	Unit Ventilator
FDN	Foundation	U.O.N.	Unless Otherwise Noted
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile
GA.	Gauge	W.P.	Waterproofing
GALV.	Galvanized	W.W.F.	Welded Wire Fabric
GYP. BD.	Gypsum Board	W.BD.	White Board
G.C.	General Contractor	W	With
H.C.	Handicapped	WD.	Wood

FINISHES	
GYPHUM BOARD	
1.	PROVIDE AND INSTALL GYPHUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPHUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPHUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
2.	PROVIDE AND INSTALL MOISTURE-RESISTANT GYPHUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPHUM BOARD AS CALLED FOR ON THE DRAWINGS.
3.	PROVIDE ½" TYPE X GYPHUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. ¾" TYPE X GYPHUM BOARD SHALL BE PROVIDED AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.
PAINT	
1.	APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.

THERMAL & MOISTURE PROTECTION	
1.	PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING: A. EXTERIOR WALLS: R-19 MINIMUM B. SLOPED CEILINGS: R-30 MINIMUM C. FLAT CEILINGS: R-38 MINIMUM D. CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM E. CEILINGS OVER BASEMENT: R-21 MINIMUM
2.	INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.
3.	DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE FSK FOIL TO PROTECT EXPOSED INSULATION.
4.	INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.

ELECTRICAL NOTES	
1.	ELECTRICAL DRAWINGS ARE INTENDED TO BE USED FOR SCHEMATIC DESIGN ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF FINAL ELECTRICAL DESIGN.
2.	FINAL LOCATIONS OF ALL ELECTRICAL DEVICES AND THEIR INTENDED OPERATION IS TO BE COORDINATED WITH THE OWNER.
3.	ELECTRICAL CONTRACTOR SHALL PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY SERVICE THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING ELECTRICAL SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS.
4.	ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
5.	COORDINATE ELECTRICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
6.	ELECTRICAL CONTRACTOR MUST PROVIDE AND INSTALL ALL DUCT WORK ASSOCIATED WITH EXHAUST FANS.
7.	PERFORM ALL NEW ELECTRICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.

ELECTRICAL MOUNTING HEIGHTS	
1.	ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR TYPES AND LOCATIONS.
2.	RECEPTACLES: 18" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF RECEPTACLE AT 2" ABOVE BACKSPASH, AT LOCATIONS BELOW CASEWORK, MOUNT AT 24" A.F.F.)
3.	EXTERIOR RECEPTACLES: 24" A.F.F., (20" A.F.F.)
4.	SWITCHES: 48" A.F.F.
5.	BOILER EMERGENCY SWITCHES: 60" A.F.F.
6.	DATA / PHONE OUTLETS: 18" A.F.F.
7.	TV OUTLETS: 18" A.F.F. OR 18" BELOW FINISHED CEILING
8.	WALL PHONE: 48" A.F.F. TO CENTER OF EARPIECE
9.	SECURITY KEYPAD: 48" A.F.F.

CONCRETE	
1.	ALL CONCRETE WORK SHALL BE IN COMPLIANCE WITH THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (ACI 301).
2.	CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT THE AGE OF 28 DAYS: 3000PSI, EXCEPT 4000PSI FOR EXTERIOR WORK.
3.	CONCRETE SHALL HAVE A SLUMP NOT EXCEEDING 5", EXCEPT FOR 4" SLABS.
4.	CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE CURING OF CONCRETE AS DIRECTED BY ACI 301. USE OF CALCIUM CHLORIDE SHALL NOT BE PERMITTED.
5.	REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS AND CONFORM TO ASTM A-615-GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A-185.
6.	REINFORCING BARS MARKED "CONT." SHALL BE LAPPED 32 BAR DIAMETERS AT SPLICES AND CORNERS, HOOKED AT DISCONTINUOUS ENDS. WELDED WIRE FABRIC SHALL BE LAPPED 6" AT END SPLICES.
7.	CONTRACTOR SHALL INSTALL ALL ANCHORS, ANCHOR BOLTS, LEVELING PLATES, AND ALL INSERTS TO BE SET IN CONCRETE AS REQUIRED FOR THE WORK OF ALL TRADES.
8.	ALUMINUM OBJECTS SHALL NOT BE EMBEDDED OR IN CONTACT WITH CONCRETE.
9.	REINFORCED CONCRETE FLOOR SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CRUSHED ¾" STONE ON STRUCTURAL FILL PLACED IN 8" LAYERS AND COMPACTED TO 95% OF MODIFIED OPTIMUM DENSITY ON FIRM, INORGANIC, VIRGIN SOIL. NOT LESS THAN ONE LAYER OF STRUCTURAL FILL SHALL BE USED.

CONCRETE MASONRY	
1.	ALL MASONRY SHALL CONFORM TO AND BE ERECTED IN ACCORDANCE WITH ACI 530 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND ACI 530.1 SPECIFICATION FOR MASONRY STRUCTURES.
2.	ALL MASONRY WALLS ARE TO BE CONSTRUCTED OF CONCRETE MASONRY WITH COMPRESSIVE STRENGTH FM = 1500 P.S.I. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING MASONRY STRENGTH AS SPECIFIED.
3.	TYPE "M" OR "S" MORTAR SHALL BE USED IN ALL MASONRY.
4.	CONTINUOUS HORIZONTAL JOINT REINFORCING SHALL BE INSTALLED IN ALTERNATE COURSES OF ALL MASONRY. EXTERIOR MASONRY VENEER SHALL BE TIED TO INTERIOR MASONRY BLOCKWORK IN ACCORDANCE WITH DRAWING NOTATIONS.
5.	REINFORCING STEEL FOR MASONRY SHALL BE GRADE 60. ALL LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS (I.E. #4 BAR = 24").
6.	ALL MASONRY UNIT CORES CONTAINING REINFORCING BARS SHALL BE FILLED WITH 2000 P.S.I. GROUT. GROUT SHALL BE INSTALLED IN USING LOW LIFT GROUT METHOD (5'-0" MAXIMUM LIFTS).

METALS	
1.	STRUCTURAL STEEL COMPONENTS SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AS ADOPTED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
2.	UNLESS OTHERWISE NOTED, ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-36. STEEL FOR PIPE COLUMNS SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-501.
3.	ALL STEEL-TO-STEEL CONNECTIONS SHALL BE FABRICATED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR BOLTED OR WELDED CONNECTIONS.
4.	ALL STEEL SHALL BE PAINTED WITH ONE SHOP COAT OF RED-OXIDE PRIMER. GALVANIZED MEMBERS SHALL BE UTILIZED WHERE SHOWN ON THE DRAWINGS.

WOOD	
1.	ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" AND THE "MANUAL OF HOUSE FRAMING" AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.
2.	UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS: A. INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE HEM-FIR #2 OR BETTER. B. EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 18 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE. C. PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (Y 510). PLYWOOD FLOOR DECKING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS. I. ROOF SHEATHING: C-D)EXT-APA, ½" THICK II. WALL SHEATHING: C-D)EXT-APA, ½" THICK III. SUBFLOORING: C-D)EXT-APA, ¾" THICK
3.	NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES "RECOMMENDED FASTENING SCHEDULE", NAIL PLYWOOD SHEATHING AND SUBFLOORING AND C AT EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS, LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.
4.	INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.
5.	NOTCHING SHALL NOT EXCEED 1/8TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.
6.	HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
7.	ENGINEERED LUMBER INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. JOISTS LABELED TJI ARE COMPOSITE I-JOISTS AS MANUFACTURED BY TRUS-JOIST. MEMBERS LABELED LVL ARE LAMINATED VENEER LUMBER (1.9E MICROLAM BY TRUS-JOIST). THE SUBSTITUTION OF OTHER PRODUCTS ARE ONLY PERMITTED WITH BACKUP ENGINEERING PLANS AND CALCULATIONS.

FOUNDATION	
1.	ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 PSF. BACKFILL OVER-EXCAVATION WITH CONCRETE, NOT ADDITIONAL SOIL.
2.	NO BACKFILLING OF FOUNDATION WALLS SHALL BE UNDERTAKEN UNTIL SUITABLE WALL BRACING (TEMPORARY OR PERMANENT) HAS BEEN INSTALLED.
3.	DO NOT POUR FOOTINGS ON FROZEN SOIL. REMOVE ALL FROST PRIOR TO POURING CONCRETE.
4.	BOTTOM OF FOOTINGS SHALL BE INSTALLED BELOW GRADE TO PROVIDE PROTECTION FROM FROST PENETRATION. CONSULT WITH LOCAL BUILDING OFFICIALS REGARDING REQUIRED DEPTH IN THE LOCAL WHERE THE FOUNDATION IS CONSTRUCTED.
5.	PROVIDE 2-#5 REINFORCING BARS CONTINUOUS IN THE TOP AND BOTTOM OF WALLS, AND IN CONTINUOUS FOOTINGS. SEE FOUNDATION PLAN FOR ADDITIONAL REINFORCING REQUIRED AT COLUMN FOOTINGS.
6.	PROVIDE ½" DIAMETER ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM TO SECURE FRAMING SILL TO FOUNDATION.
7.	PROVIDE EXTERIOR AND/OR INTERIOR FOOTING DRAINS AS REQUIRED BY SITE CONDITIONS.
8.	INSTALL FOUNDATION WATERPROOFING TO BELOW GRADE SURFACES.
9.	INSTALL FOUNDATION INSULATION AS REQUIRED BY LOCAL CODES.

DESIGN CRITERIA							
GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP
	SPEED (mph)	TOPOGRAPHIC effects		WIND EXPOSURE CATEGORY	Weathering	Frost Ice depth	
30 psf APPEND. R	R: 1/4	R30 2 1.4	APPEND. R	SEVERE	42"	MODERATE TO HEAVY	7° F
ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP	CLIMATE ZONE			
YES	FEMA MAP: .500 OR LESS	50° F	5A				
CODES THIS PROJECT WAS DESIGNED TO:							
2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT							
2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT							
2011 NATIONAL ELECTRICAL CODE (NFPA 70) W/ 2013 CONNECTICUT AMENDMENT							

ARCHITECTURAL SYMBOLS	
	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW STUD WALL
	NEW CMU WALL
	NEW FOUNDATION WALL
	ROOM NAME FLOOR FINISH ROOM SIZE (if applicable)
	SECTION MARKER
	ELEVATION MARKER
	WINDOW IDENTIFICATION
	ELEVATION MARKER
	EXISTING DOOR
	NEW DOOR

GENERAL NOTES	
1.	ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.
2.	NOTIFY QUISENBERRY ARCAI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.
3.	THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.
4.	UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.
5.	PATCH EXISTING AREAS AFFECTED BY THE NEW WORK. MATCH EXISTING FINISHES GUIDELINES.
6.	EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE NEW CONSTRUCTION. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.

MECHANICAL NOTES	
1.	MECHANICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT OF ANY CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER INSTALLATION OF THE NEW SYSTEMS.
2.	MECHANICAL CONTRACTOR SHALL DESIGN, PURCHASE AND INSTALL ALL NEW COMPONENTS AS REQUIRED TO PROPERLY CONDITION THE SPACE(S) AFFECTED BY THIS CONSTRUCTION PROJECT. IF THE MODIFICATION OF EXISTING SYSTEMS IS NECESSARY, SUCH MODIFICATIONS SHALL NOT ADVERSELY AFFECT THE OPERATION OF THESE SYSTEMS OR COMPONENTS.
3.	COORDINATE MECHANICAL WORK WITH THE WORK OF OTHER TRADES. DO NOT ALTER THE WORK OF PREVIOUS TRADES WITHOUT PRIOR APPROVAL.
4.	PERFORM ALL NEW MECHANICAL WORK IN ACCORDANCE WITH LOCAL CODES AND ACCEPTED STANDARDS OF PRACTICE.



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REHABILITATION/RECONSTRUCTION WORK FOR:
CHERA SIMPSON
APPLICANT # 1377
174 RODNEY STREET
WATERBURY, CT

Sheet Description:
GENERAL NOTES

Issue Dates:
JULY 11, 2014

No Scale

Project #: QA 1346-1
Drawn By: AMT

Sheet #:
G1.0



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REHABILITATION/RECONSTRUCTION WORK FOR:

CHERA SIMPSON

APPLICANT # 1377

174 RODNEY STREET WATERBURY, CT

Sheet Description:

**MAIN LEVEL
DEMOLITION
FLOOR PLAN**

Issue Dates:

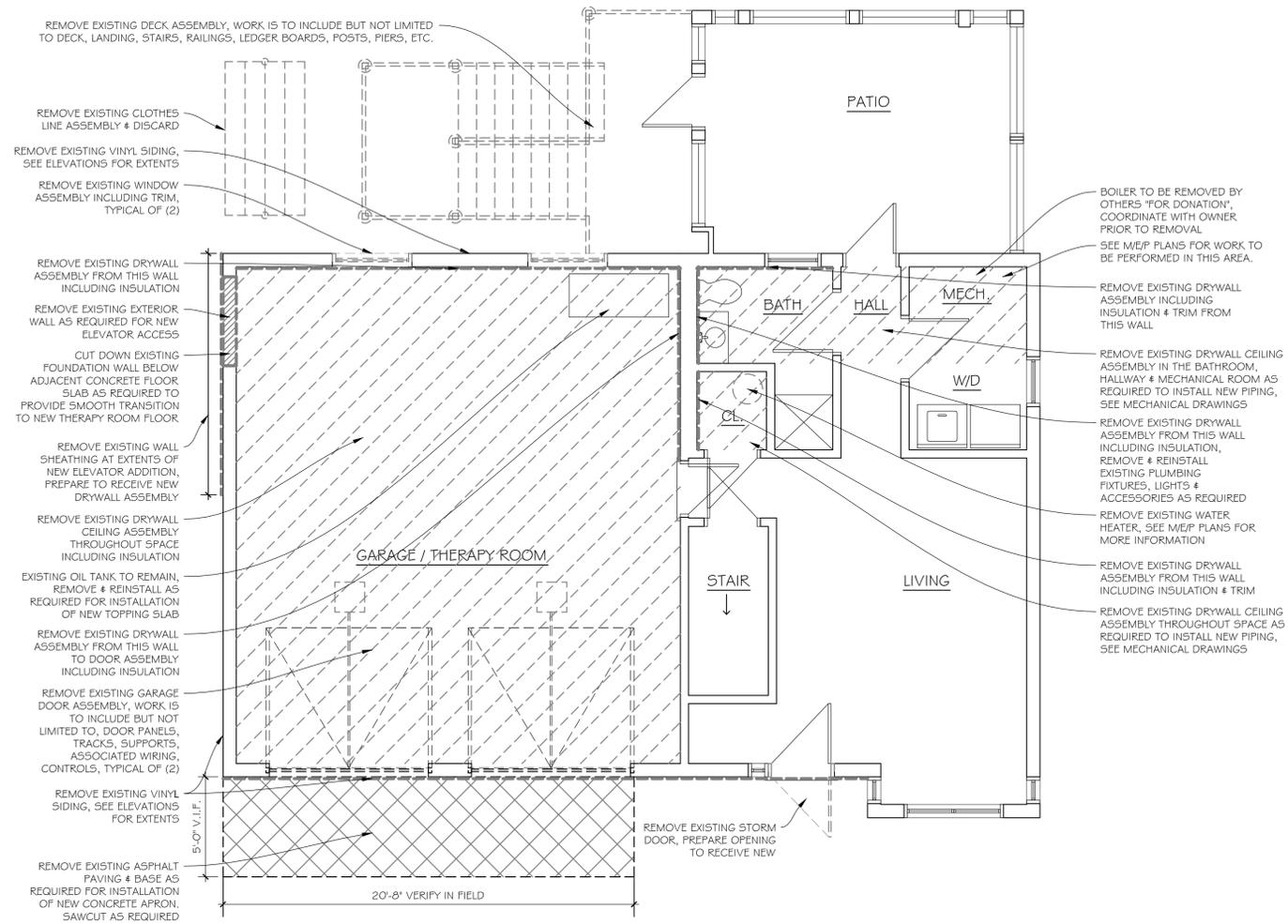
JULY 11, 2014

1/4" = 1'-0"

Project #: QA 1346-1 Drawn By: AMT

Sheet #:

D1.1



MAIN LEVEL DEMOLITION FLOOR PLAN

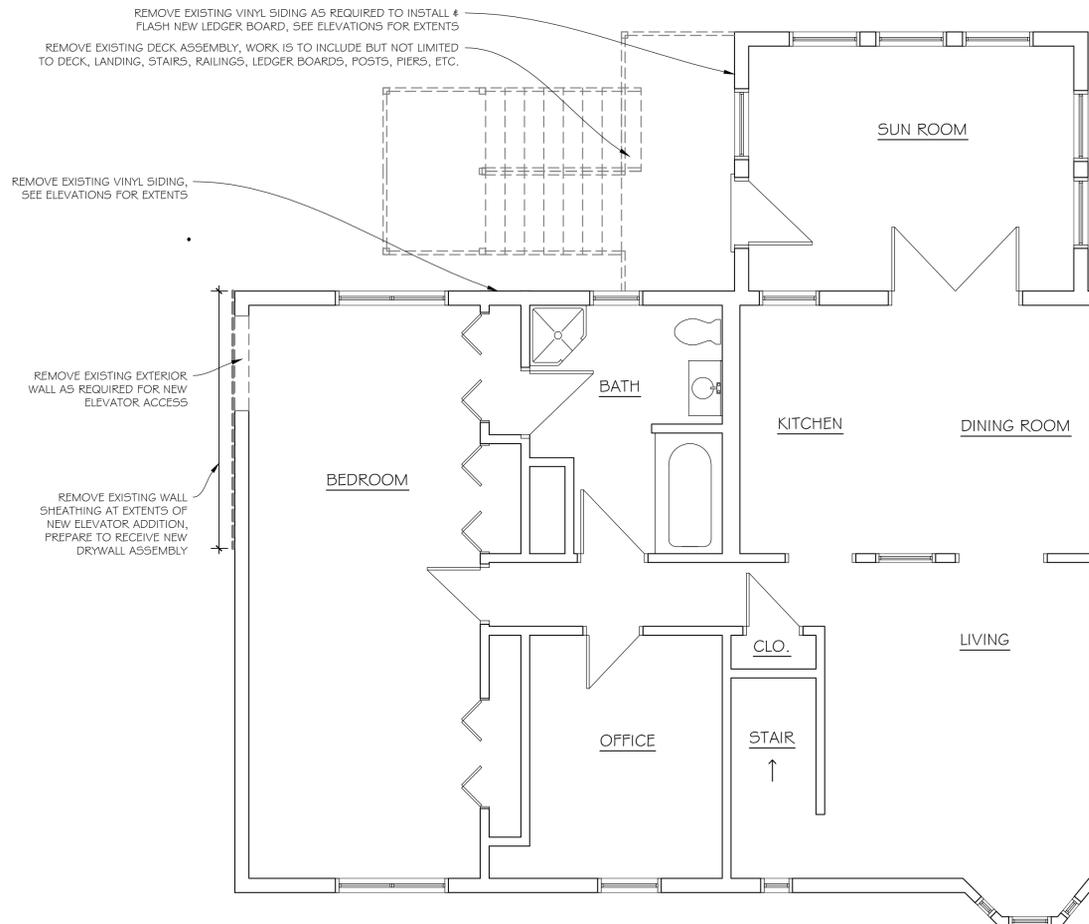
SCALE: 1/4" = 1'-0"



1



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UPPER LEVEL DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"



1

REHABILITATION/RECONSTRUCTION WORK FOR:

CHERA SIMPSON

APPLICANT # 1377

174 RODNEY STREET WATERBURY, CT

Sheet Description:

UPPER LEVEL
DEMOLITION
FLOOR PLAN

Issue Dates:

JULY 11, 2014

1/4" = 1'-0"

Project #:

QA 1346-1

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Sheet #:

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REHABILITATION/RECONSTRUCTION WORK FOR:

CHERA SIMPSON

APPLICANT # 1377

174 RODNEY STREET WATERBURY, CT

Sheet Description:

FOUNDATION PLAN

Issue Dates:

JULY 11, 2014

1/4" = 1'-0"

Project #:

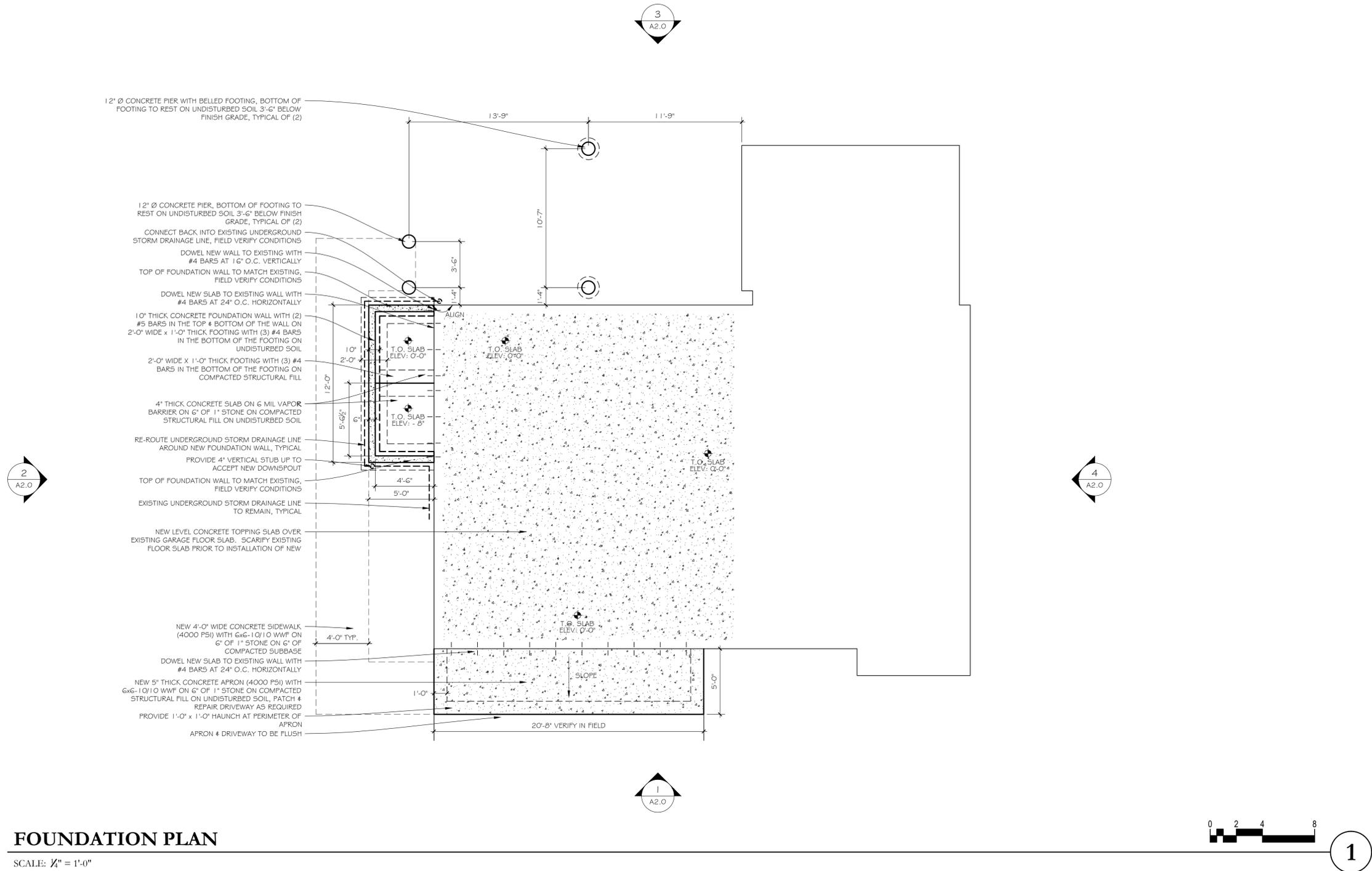
Drawn By:

QA 1346-1

AMT

Sheet #:

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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

1



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APPLICANT # 1377

174 RODNEY STREET WATERBURY, CT

Sheet Description:

MAIN LEVEL FLOOR PLAN

Issue Dates:

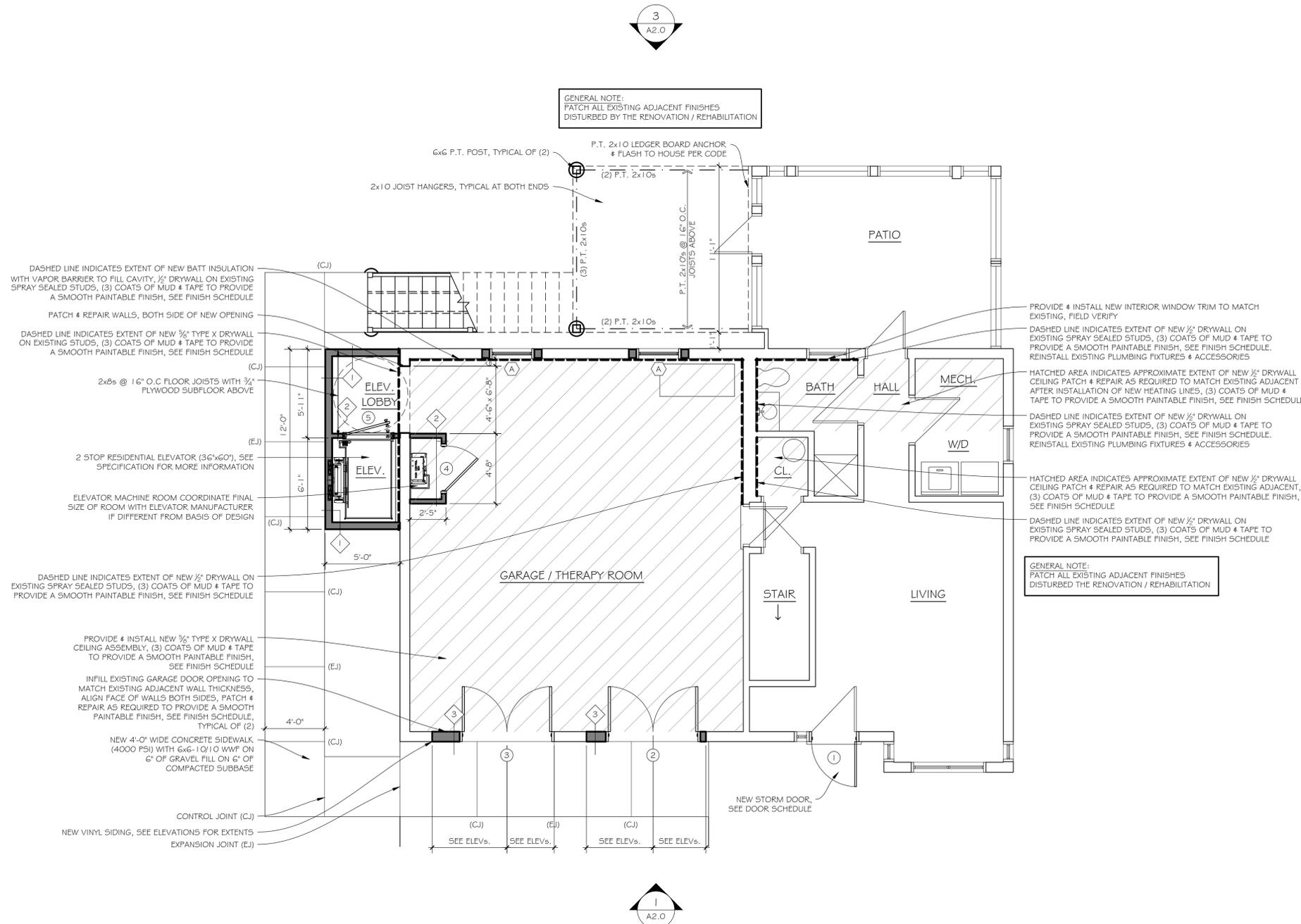
JULY 11, 2014

1/4" = 1'-0"

Project #: QA 1346-1
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Sheet #:

A1.1



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"





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CHERA SIMPSON

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174 RODNEY STREET WATERBURY, CT

Sheet Description:

UPPER LEVEL FLOOR PLAN

Issue Dates:

JULY 11, 2014

1/4" = 1'-0"

Project #:
QA 1346-1

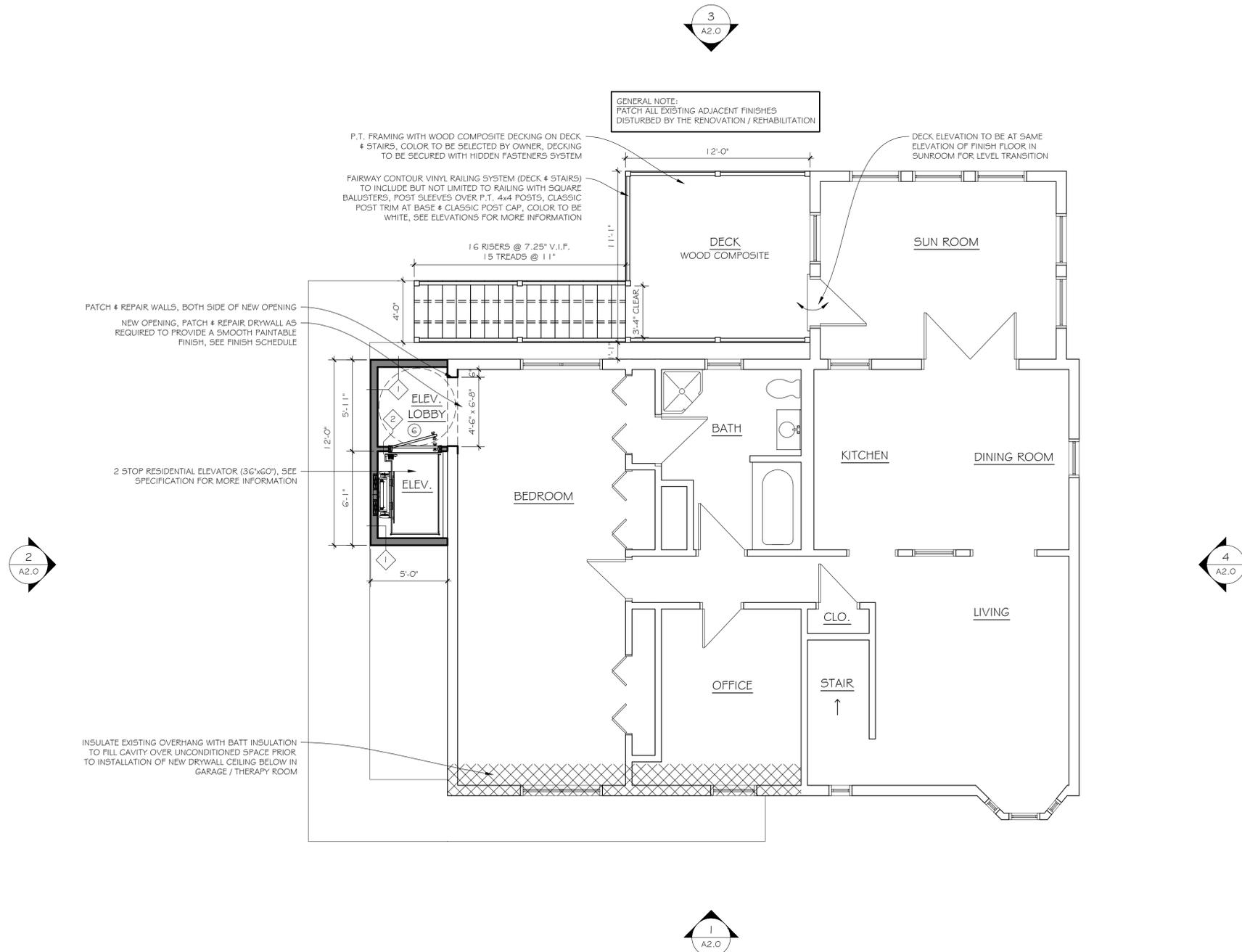
Drawn By:
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Sheet #:

A1.2

UPPER LEVEL DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"



1



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REHABILITATION/RECONSTRUCTION WORK FOR:

CHERA SIMPSON

APPLICANT # 1377

WATERBURY, CT

174 RODNEY STREET

Sheet Description:

EXTERIOR ELEVATIONS

Issue Dates:

JULY 11, 2014

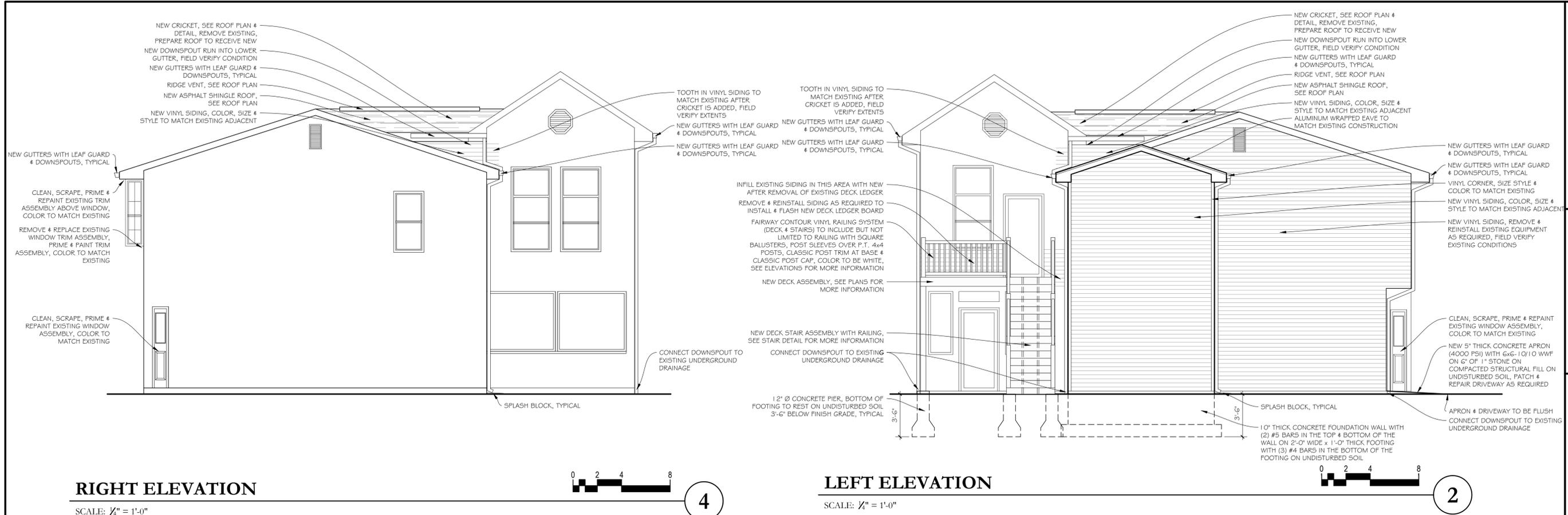
1/4" = 1'-0"

Project #:
QA 1346-1

Drawn By:
AMT

Sheet #:

A2.0



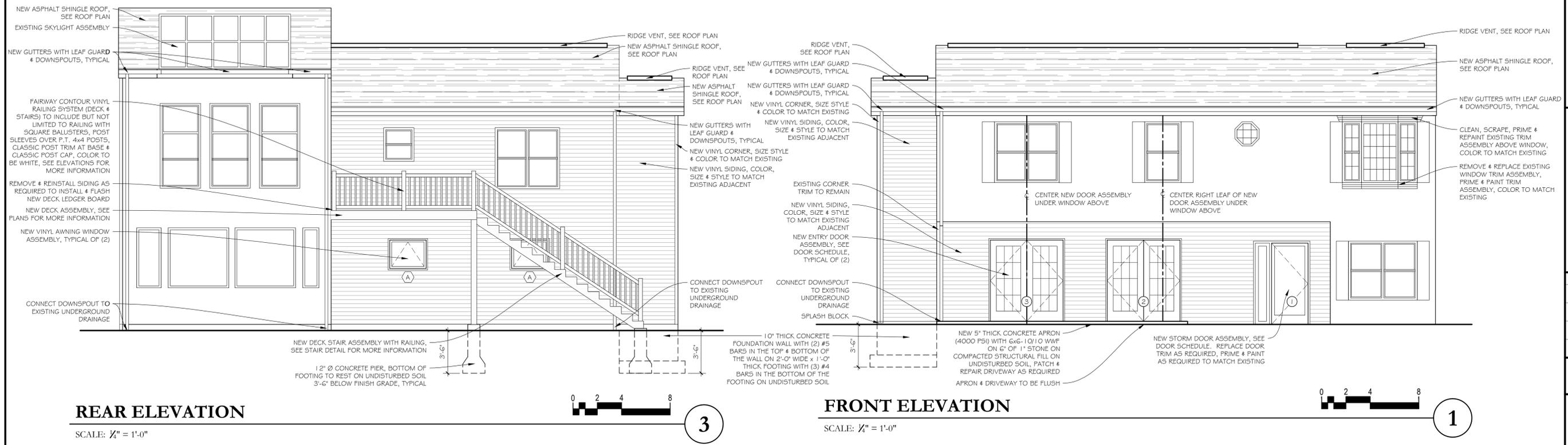
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTE: POWERWASH & CLEAN ENTIRE EXTERIOR OF HOUSE TO REMOVE MOLD & DIRT FROM ALL SURFACES (SIDING, WINDOWS, DOORS, TRIM, ETC)



REAR ELEVATION

SCALE: 1/4" = 1'-0"

FRONT ELEVATION

SCALE: 1/4" = 1'-0"



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REHABILITATION/RECONSTRUCTION WORK FOR:

CHERA SIMPSON

APPLICANT # 1377

174 RODNEY STREET WATERBURY, CT

Sheet Description:

ROOF PLAN

Issue Dates:

JULY 11, 2014

1/4" = 1'-0"

Project #:

QA 1346-1

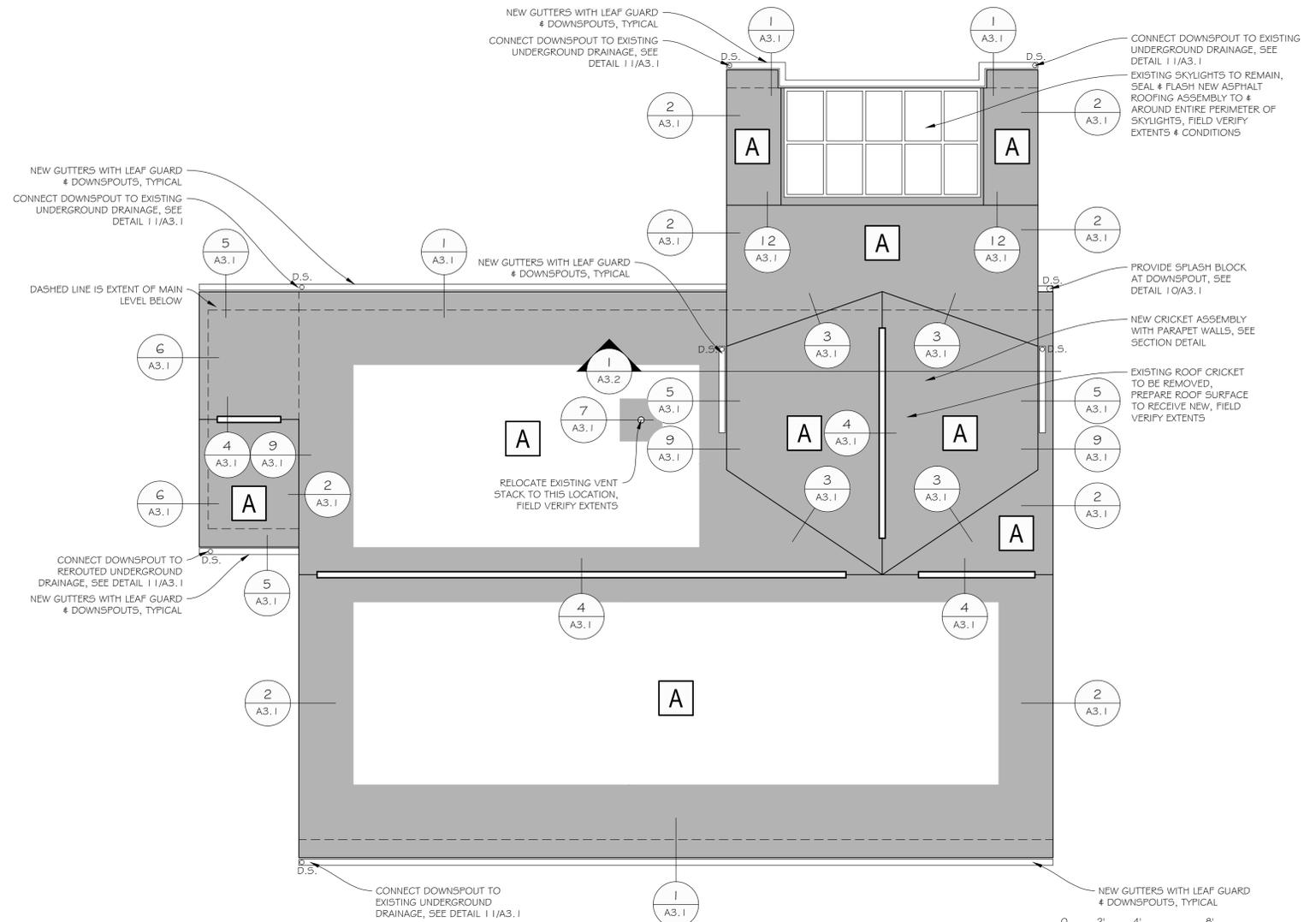
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Sheet #:

A3.0

ROOF PLAN KEY	
A	ARCHITECTURAL SHINGLES ON BUILDING PAPER ON, ICE & WATER SHIELD (WHERE NOTED), ON PLYWOOD ON EXISTING ROOF FRAMING, SHINGLE COLOR TO BE SELECTED BY OWNER, SEE SPEC FOR MORE INFORMATION
	ICE & WATER SHIELD, SEE PLANS & ROOF DETAILS FOR EXTENTS
GENERAL ROOFING NOTES:	
REMOVE ALL EXISTING ROOF SHINGLES & BUILDING PAPER DOWN TO EXISTING PLYWOOD SHEATHING, PREPARE EXISTING ROOF SHEATHING TO RECEIVE NEW, FIELD VERIFY EXTENTS	
RELOCATE EXISTING PLUMBING VENTS AS REQUIRED, PROVIDE NEW ROOF VENT PIPE FLASHING, TYPICAL AT EACH VENT, FIELD VERIFY LOCATIONS, SEE DETAILS FOR MORE INFORMATION, SEE DETAIL 7 / A3.1	
REMOVE ALL EXISTING BATHROOM & KITCHEN FAN ROOF JACKS (VENT CAPS), DISCONNECT EXISTING DUCTWORK, PREPARE ROOF SURFACE TO RECEIVE NEW. PROVIDE & INSTALL NEW BATHROOM & KITCHEN FAN ROOF JACKS (VENT CAPS), RECONNECT EXISTING DUCTWORK TO ROOF JACK (VENT CAP). NEW ROOF JACKS (VENT CAPS) ARE TO MATCH EXISTING IN SIZE & APPEARANCE, FIELD VERIFY LOCATIONS, SEE DETAIL 8 / A3.1	
CUT IN NEW RIDGE VENTING, SEE PLANS & DETAILS FOR FURTHER INFORMATION & EXTENTS OF RIDGE VENTING, SEE DETAIL 4 / A3.1	
PATCH & REPAIR ALL GRASS AREAS, WALKWAYS, DRIVEWAYS DISTURBED BY THE ROOF CONSTRUCTION, DISTURBED AREAS ARE TO MATCH EXISTING	
REMOVE & DISPOSE OF ALL VEGETATION GROWING ON ALL EXISTING GUTTERS & DOWNSPOUTS	
REMOVE ALL EXISTING GUTTERS, DOWNSPOUTS & ASSOCIATED MOUNTING HARDWARE, PROVIDE AND INSTALL NEW GUTTERS WITH LEAF GUARDS & DOWNSPOUTS IN LOCATIONS SHOWN. TIE DOWNSPOUTS INTO EXISTING UNDERGROUND DRAINAGE, SEE DETAIL 11 / A3.1. PROVIDE SPLASH BLOCKS AT DOWNSPOUT OUTLETS AT GRADE WHERE NOTED, SEE DETAIL 10 / A3.1	
SEE PLANS & DETAILS FOR ICE & WATER SHIELD LOCATIONS & EXTENTS	
ALL OVERALL DIMENSIONS ARE TO BE VERIFIED IN FIELD PRIOR TO BIDDING	
ALL ROOF PITCHES ARE TO BE VERIFIED IN FIELD PRIOR TO BIDDING	



ROOF PLAN

SCALE: 1/4" = 1'-0"

1



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CHERA SIMPSON

APPLICANT # 1377

WATERBURY, CT

174 RODNEY STREET

Sheet Description:

ROOF DETAILS

Issue Dates:

JULY 11, 2014

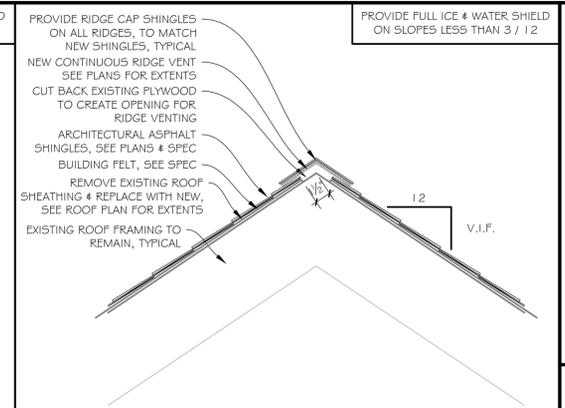
1/2" = 1'-0"

Project #:
QA 1346-1

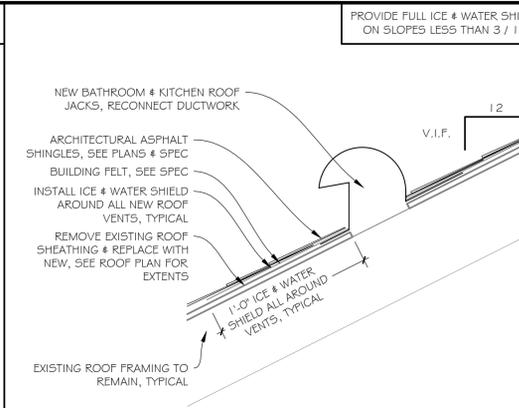
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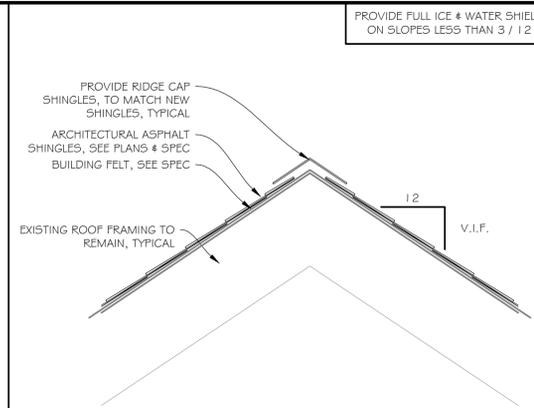
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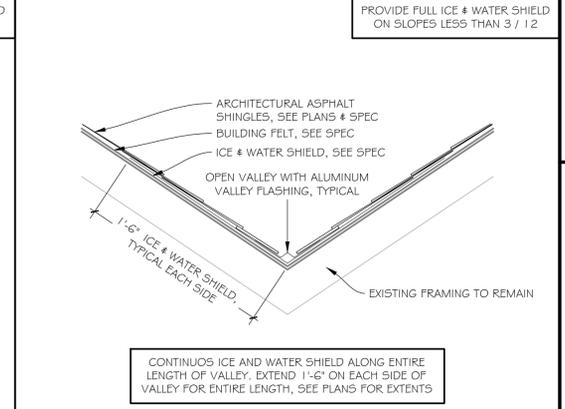
4 TYPICAL RIDGE VENT DETAIL



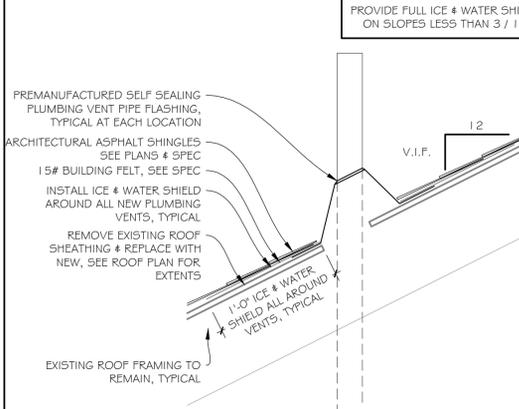
8 KITCHEN & BATHROOM ROOF VENT DETAIL



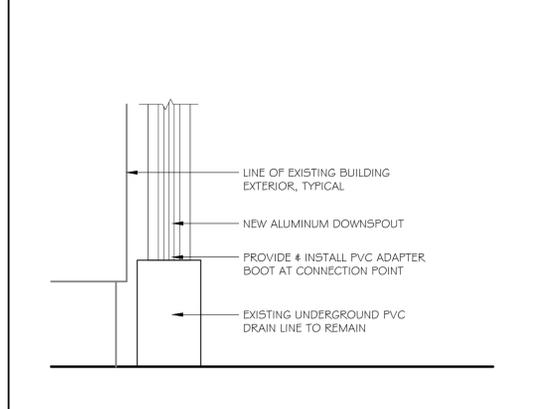
12 RIDGE CAP DETAIL "NO VENT"



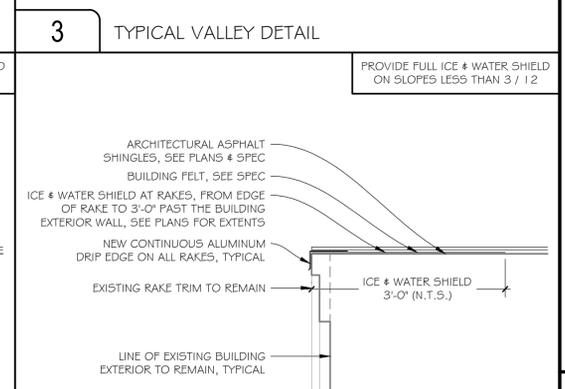
3 TYPICAL VALLEY DETAIL



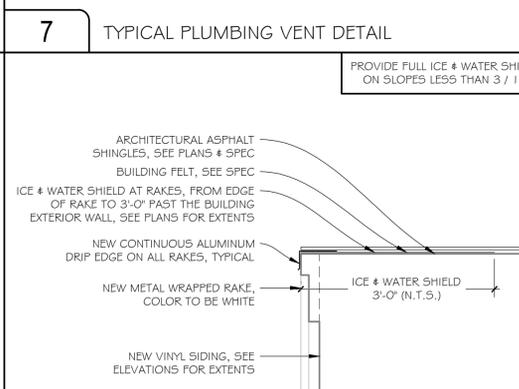
7 TYPICAL PLUMBING VENT DETAIL



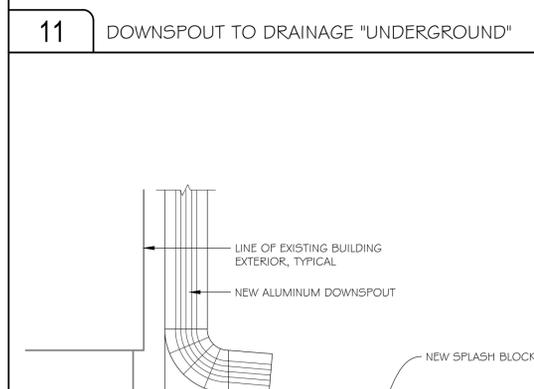
11 DOWNSPOUT TO DRAINAGE "UNDERGROUND"



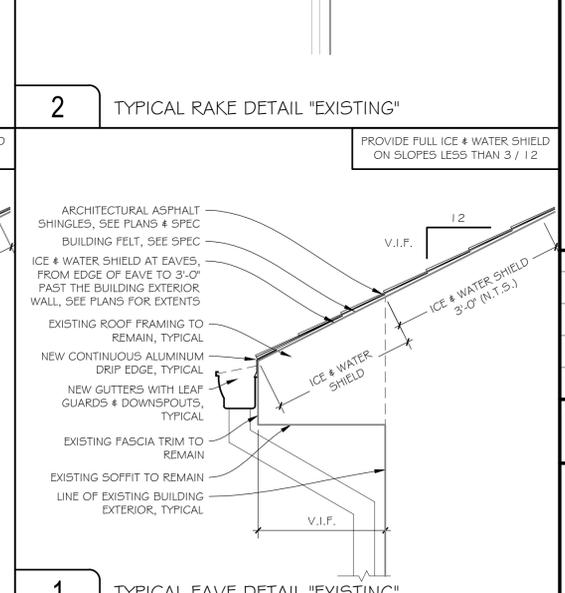
2 TYPICAL RAKE DETAIL "EXISTING"



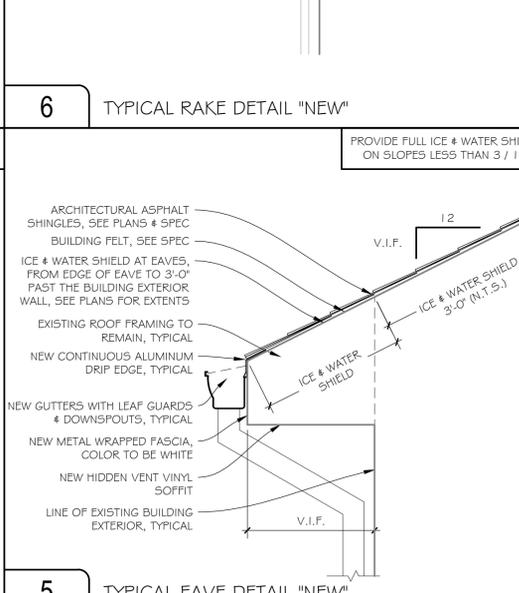
6 TYPICAL RAKE DETAIL "NEW"



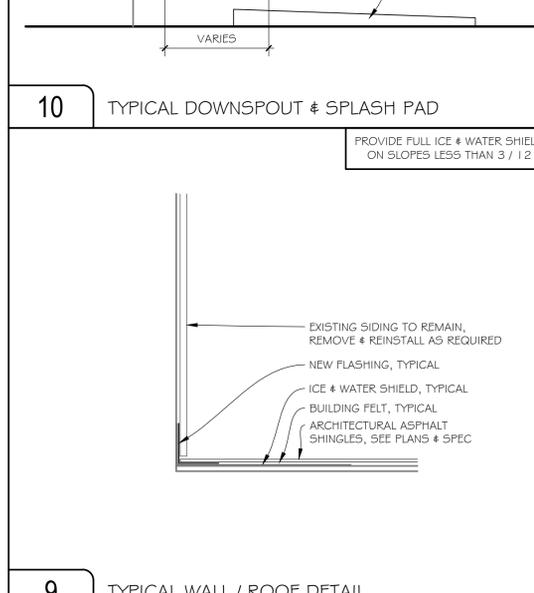
10 TYPICAL DOWNSPOUT & SPLASH PAD



1 TYPICAL EAVE DETAIL "EXISTING"



5 TYPICAL EAVE DETAIL "NEW"



9 TYPICAL WALL / ROOF DETAIL



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REHABILITATION/RECONSTRUCTION WORK FOR:

CHERA SIMPSON

APPLICANT # 1377

174 RODNEY STREET WATERBURY, CT

Sheet Description:

ROOF DETAILS

Issue Dates:

JULY 11, 2014

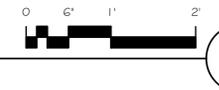
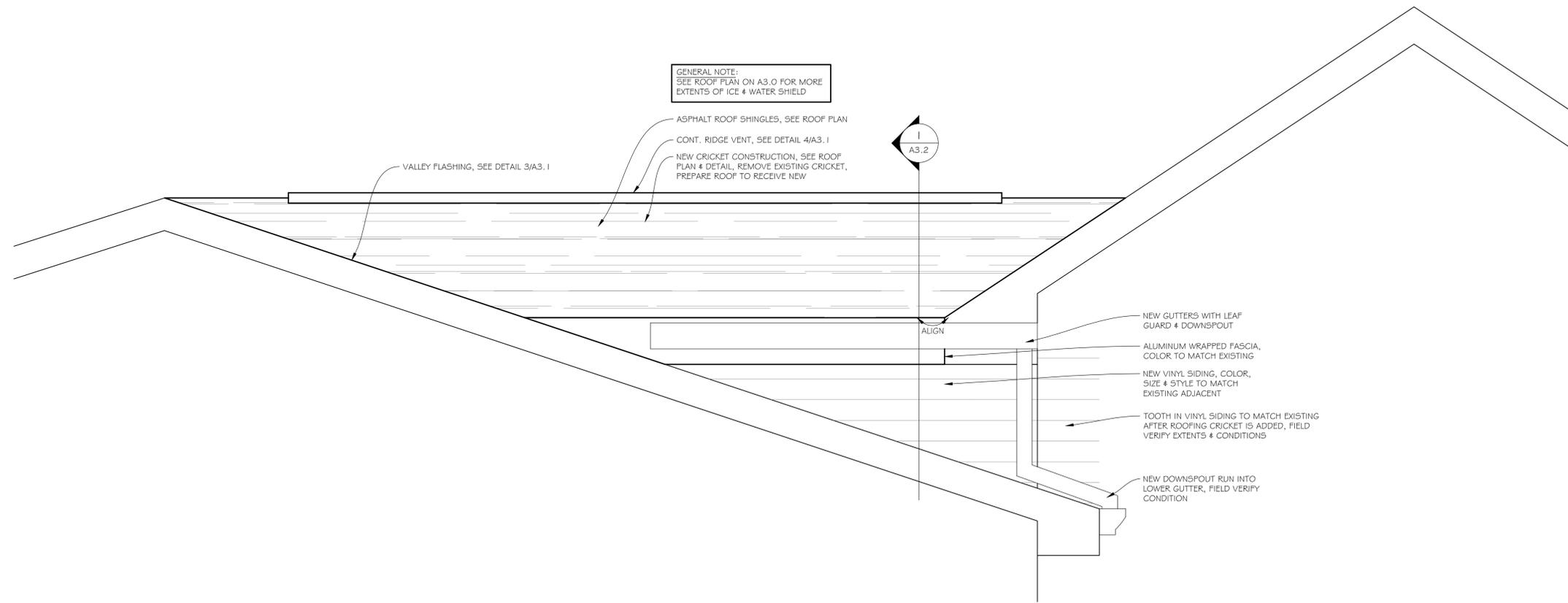
1" = 1'-0"

Project #:
QA 1346-1

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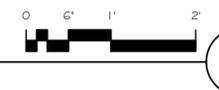
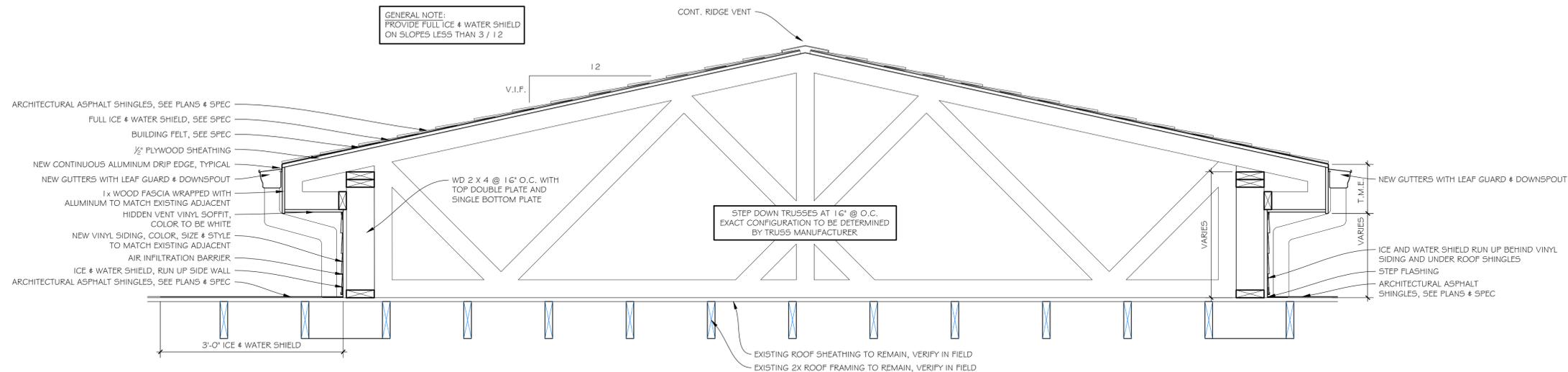
Sheet #:

A3.2



ROOF CRICKET ELEVATION

SCALE: 1" = 1'-0"



ROOF CRICKET SECTION

SCALE: 1" = 1'-0"



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REHABILITATION/RECONSTRUCTION WORK FOR:

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174 RODNEY STREET WATERBURY, CT

Sheet Description:

WALL SECTION & WALL TYPES

Issue Dates:

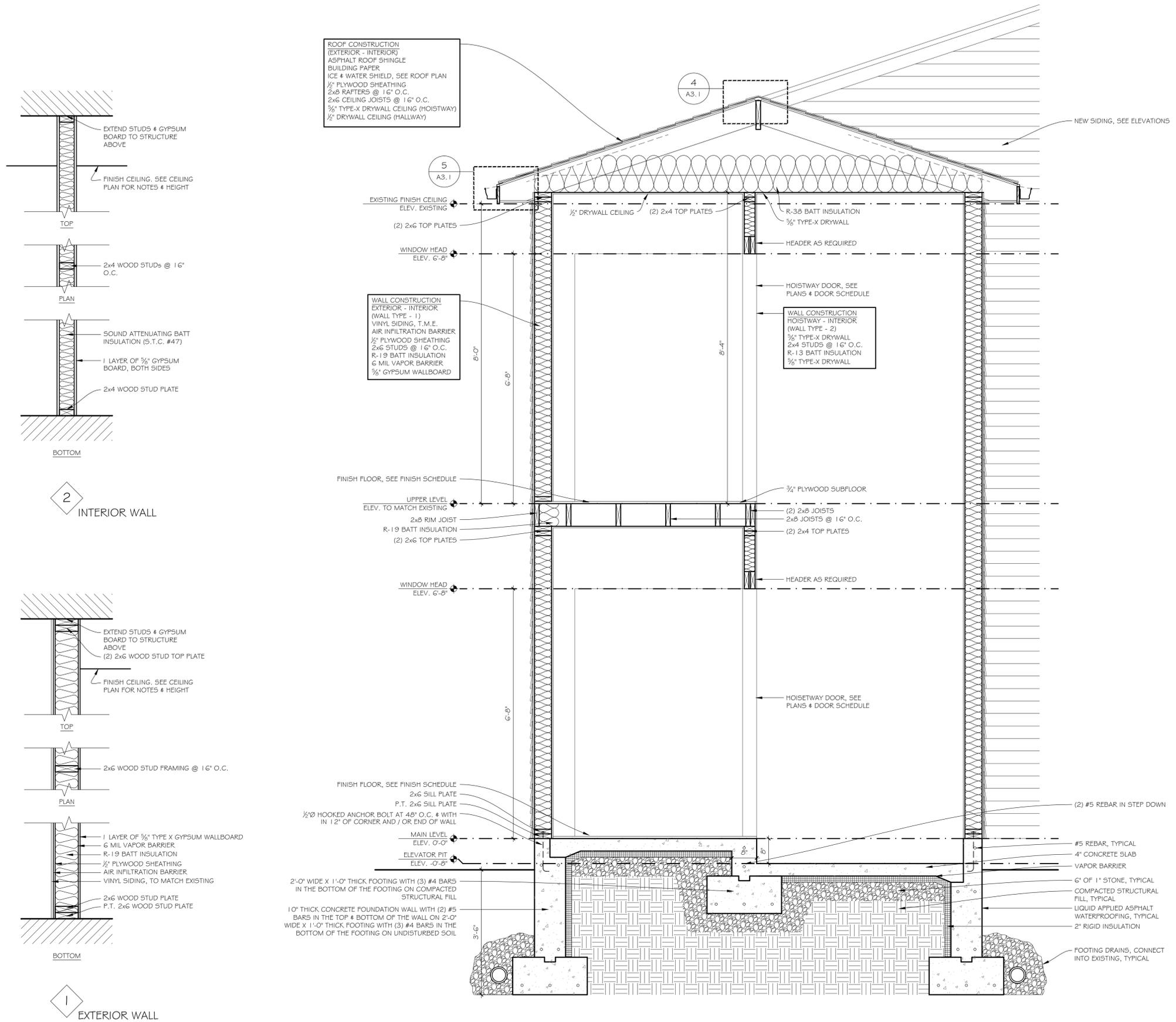
JULY 11, 2014

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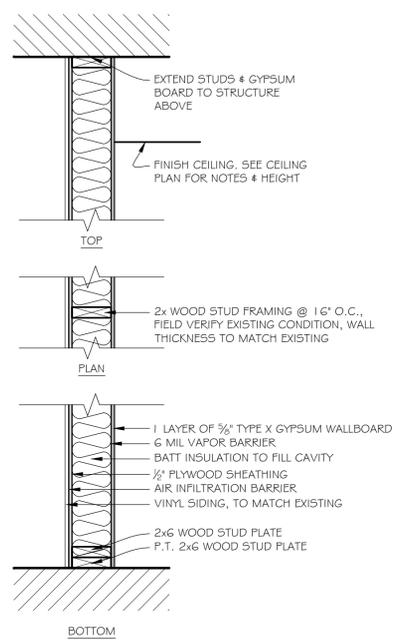
Project #: QA 1346-1
 Drawn By: AMT

Sheet #:

A4.0



2 INTERIOR WALL



3 EXTERIOR WALL

1 EXTERIOR WALL

WALL TYPES

SCALE: 1/2" = 1'-0"

2

ELEVATOR ADDITION SECTION

SCALE: 3/4" = 1'-0"

1



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FINISH SCHEDULE																
ROOM NAME	FLOOR		BASE		WALL				CEILING		MISCELLANEOUS				REMARKS	
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH				MATERIAL	FINISH	DOORS	DOOR FRAMES	WINDOW TRIM		BASE TRIM
						NORTH	SOUTH	EAST	WEST							
MAIN LEVEL																
LIVING ROOM	--	--	--	--	DRYWALL	P-4	P-4	P-4	P-4	DRYWALL	P-3	P-2	P-2	P-2	P-2	CLEAN ALL EXISTING SURFACES TO BE PAINTED, APPLY A PRIMER, SEALER & STAIN BLOCKER, THEN TOP COATS
MECHANICAL ROOM	TILE	PATCH TO MATCH EXISTING	--	--	DRYWALL	P-4	P-4	P-4	P-4	DRYWALL	P-3	P-2	P-2	P-2	P-2	CLEAN ALL EXISTING SURFACES TO BE PAINTED, APPLY A PRIMER, SEALER & STAIN BLOCKER, THEN TOP COATS
HALL	--	--	--	--	DRYWALL	P-4	P-4	P-4	P-4	DRYWALL	P-3	P-2	P-2	P-2	P-2	CLEAN ALL EXISTING SURFACES TO BE PAINTED, APPLY A PRIMER, SEALER & STAIN BLOCKER, THEN TOP COATS
BATHROOM	--	--	--	--	DRYWALL	P-4	P-4	P-4	P-4	DRYWALL	P-3	P-2	P-2	P-2	P-2	CLEAN ALL EXISTING SURFACES TO BE PAINTED, APPLY A PRIMER, SEALER & STAIN BLOCKER, THEN TOP COATS
CLOSET	--	--	--	--	DRYWALL	P-4	P-4	P-4	P-4	DRYWALL	P-3	P-2	P-2	P-2	P-2	CLEAN ALL EXISTING SURFACES TO BE PAINTED, APPLY A PRIMER, SEALER & STAIN BLOCKER, THEN TOP COATS
GARAGE / THERAPY ROOM	LAMINATE WOOD	LW-1	WOOD BASE	WB-1	DRYWALL	P-1	P-1	P-1	P-1	DRYWALL	P-3	P-2	P-2	P-2	P-2	CLEAN ALL EXISTING SURFACES TO BE PAINTED, APPLY A PRIMER, SEALER & STAIN BLOCKER, THEN TOP COATS
ELEVATOR CLOSET	LAMINATE WOOD	LW-1	WOOD BASE	WB-1	DRYWALL	P-1	P-1	P-1	P-1	DRYWALL	P-3	P-2	P-2	P-2	P-2	--
ELEVATOR LOBBY	LAMINATE WOOD	LW-1	WOOD BASE	WB-1	DRYWALL	P-1	P-1	P-1	P-1	DRYWALL	P-3	P-2	P-2	P-2	P-2	--
UPPER LEVEL																
KITCHEN / DINING RM	--	--	--	--	DRYWALL	P-4	P-4	P-4	P-4	DRYWALL	P-3	P-2	P-2	P-2	P-2	CLEAN ALL EXISTING SURFACES TO BE PAINTED, APPLY A PRIMER, SEALER & STAIN BLOCKER, THEN TOP COATS
BEDROOM	--	--	--	--	DRYWALL	P-4	P-4	P-4	P-4	DRYWALL	P-3	P-2	P-2	P-2	P-2	CLEAN ALL EXISTING SURFACES TO BE PAINTED, APPLY A PRIMER, SEALER & STAIN BLOCKER, THEN TOP COATS
ELEVATOR LOBBY	LAMINATE WOOD	LW-1	WOOD BASE	WB-1	DRYWALL	P-1	P-1	P-1	P-1	DRYWALL	P-3	P-2	P-2	P-2	P-2	PROVIDE TRANSITION STRIP BETWEEN DIFFERENT FLOORING MATERIALS
ELEVATOR CAB	LAMINATE WOOD	LW-1	WOOD BASE	WB-1	FLAT WOOD PANEL	P-1	P-1	P-1	P-1	DRYWALL	P-3	P-2	P-2	P-2	P-2	--

PATCH TILE FLOOR AS REQUIRED TO MATCH EXISTING ADJACENT TILE FLOORING

FINISH NOTES

FINISH LEGEND

GENERAL

WALLS

FLOORING

WALLS

1. REFER TO FLOOR FINISH PLAN, WALL FINISH PLAN & INTERIOR ELEVATIONS FOR ADDITIONAL MISCELLANEOUS FINISH WORK AND NOTES.

2. ALL INTERIOR FINISHES SHALL MEET THE REQUIREMENTS OF THE CONNECTICUT FIRE SAFETY CODE AND SHALL BE CLASS A.

3. USE ONLY MANUFACTURES REQUIRED ADHESIVES AND SEALANTS FOR ALL INTERIOR FINISHES. ALL ADHESIVES USED ARE TO BE ENVIRONMENTALLY SAFE AND CONTAIN NO SOLVENTS, ALCOHOL, GLYCOL, AMONIA OR CARCINOGENS AND MUST BE A LOW V.O.C. PRODUCT.

4. PAINT ALL EXPOSED SPRINKLER PIPES, DECKING, HANGERS, FITTINGS, WIREMOLD, CONDUIT, ETC.

5. CLEAN ALL EXISTING SURFACES TO BE PAINTED, APPLY A PRIMER, SEALER, STAINBLOCKER PRIOR TO THE APPLICATION OF THE TOP COATS OF PAINT.

6. PATCH ALL EXISTING ADJACENT FINISHES DISTURBED BY THE RENOVATION / REHABILITATION

1. ALL NEW GYP. BD. AND MASONRY UNITS SHALL BE PAINTED UNLESS OTHERWISE NOTED.

2. PAINT ALL EXPOSED SPRINKLER PIPES, METAL DUCTS, HANGERS, FITTINGS, WIREMOLD AND CONDUIT.

3. PATCH AND PAINT ALL EXISTING WALLS AS REQUIRED DUE TO DEMOLITION TO CREATE A SMOOTH SURFACE.

4. ALL WALL PAINT TO EXTEND INTO CLOSETS.

LAMINATE WOOD FLOOR
 LW-1 PERGO
 STYLE: PERGO MAX
 COLOR: COLOR TO BE SELECTED BY OWNER

PAINT
 P-1 BENJAMIN MOORE LATEX EGGSHELL
 COLOR: TO BE SELECTED BY OWNER (WALLS)

P-2 BENJAMIN MOORE LATEX SEMI-GLOSS
 COLOR: TO BE SELECTED BY OWNER (DOOR, FRAMES & TRIM)

P-3 BENJAMIN MOORE LATEX FLAT
 COLOR: WHITE (CEILING & SOFFITS)

P-4 BENJAMIN MOORE LATEX EGGSHELL
 COLOR: TO BE SELECTED BY OWNER (EXISTING WALLS)

FLOORING

MISCELLANEOUS

WALL BASE

MISCELLANEOUS

1. ALL FLOOR FINISHES TO EXTEND TO MEET WALL AND/OR BASE OF CASEWORK.

2. FLOORING AND BASE TO EXTEND INTO CLOSETS.

3. PROVIDE MANUFACTURER APPROVED UNDERLAYMENT FOR ALL FLOORING TYPES CALLED OUT IN CONTRACT DOCUMENTS

1. ALL KICK PLATES TO BE BRUSHED STAINLESS STEEL.

2. ALL PLASTIC LAMINATE TO BE HORIZONTAL GRADE.

4. ALL COUNTERTOPS TO HAVE POST-FORM EDGE DETAIL.

5. ALL GYP. BD. SOFFITS TO BE PAINTED WHITE UNLESS OTHERWISE NOTED.

BASE TRIM
 WB-1 WOOD BASE TRIM
 STYLE & SIZE: TO MATCH EXISTING

REHABILITATION / RECONSTRUCTION WORK FOR:

CHERA SIMPSON

APPLICANT # 1377

174 RODNEY STREET WATERBURY, CT

Sheet Description:

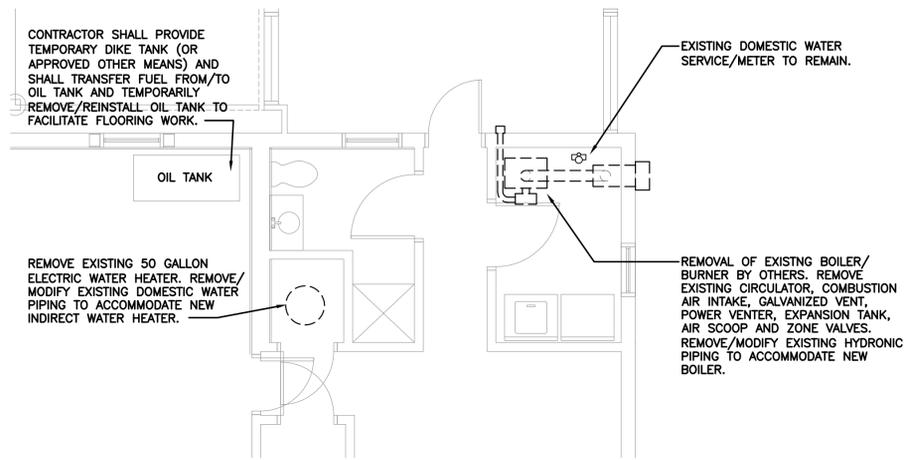
FINISH SCHEDULE & LEGEND

Issue Dates:
 JULY 11, 2014

Project #: QA 1346-1
 Drawn By: AMT

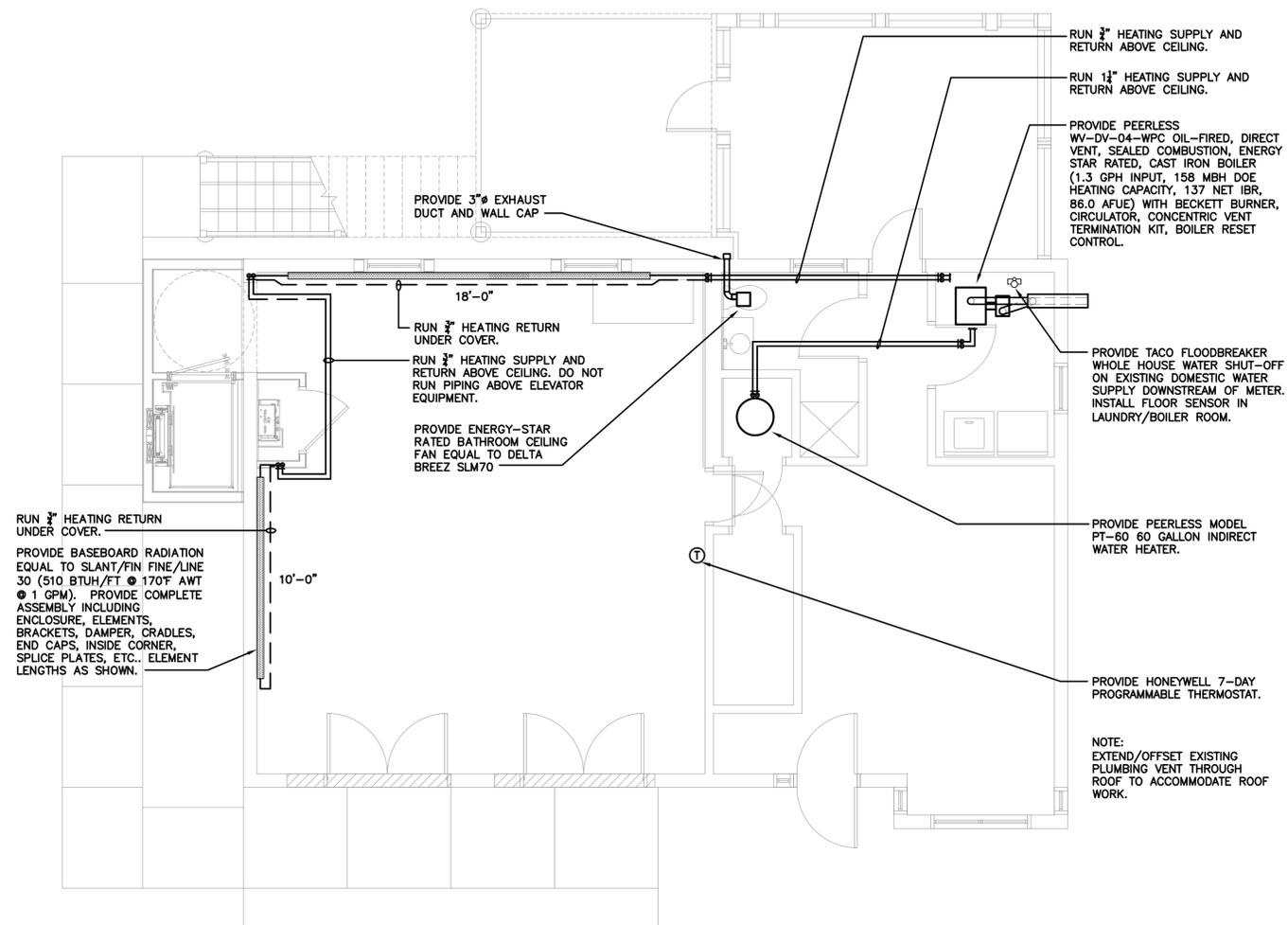
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A6.0



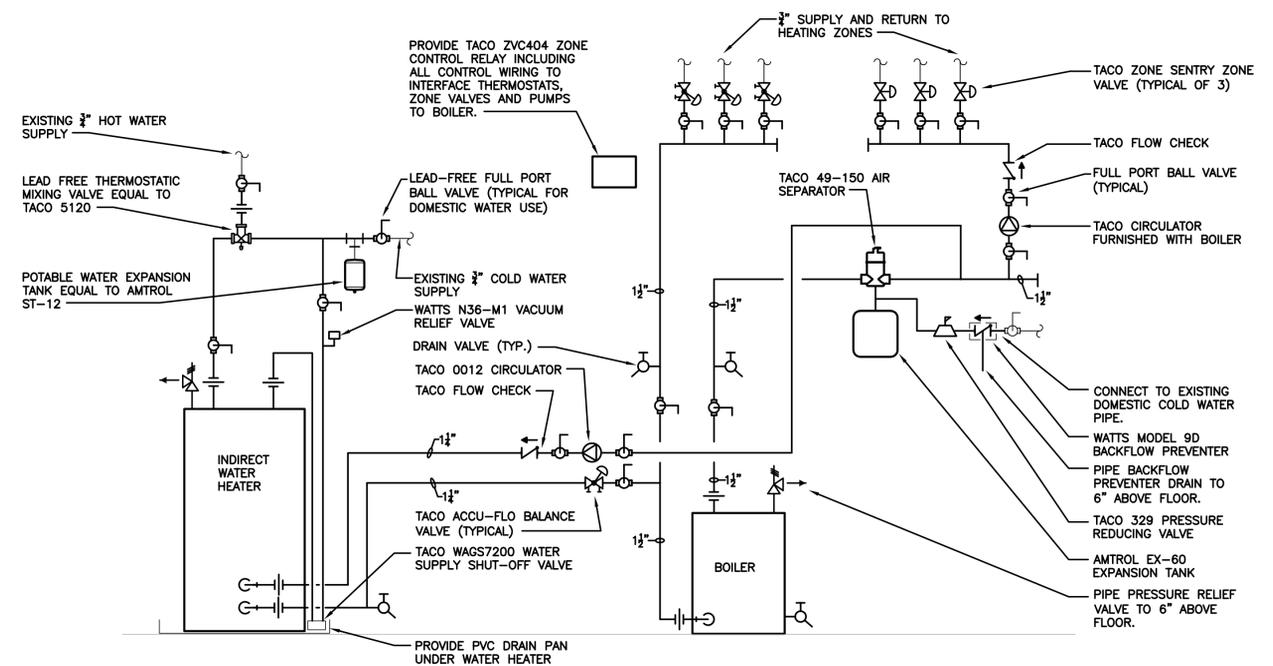
MECHANICAL DEMOLITION PARTIAL PLAN

SCALE: 1/4"=1'-0"



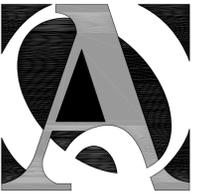
MAIN LEVEL - MECHANICAL PLAN

SCALE: 1/4"=1'-0"



BOILER PIPING SCHEMATIC

NO TO SCALE



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REHABILITATION/RECONSTRUCTION WORK FOR:
CHERA SIMPSON
 APPLICANT # 1377
 WATERBURY, CT
 174 RODNEY STREET

Sheet Description:
MECHANICAL PLANS AND DETAILS

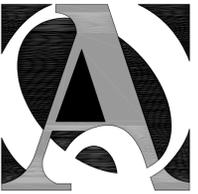
Issue Dates: 07-11-2014

Scale: **AS NOTED**

Project #: QA 1346-1
 Drawn By: KH

Sheet #:

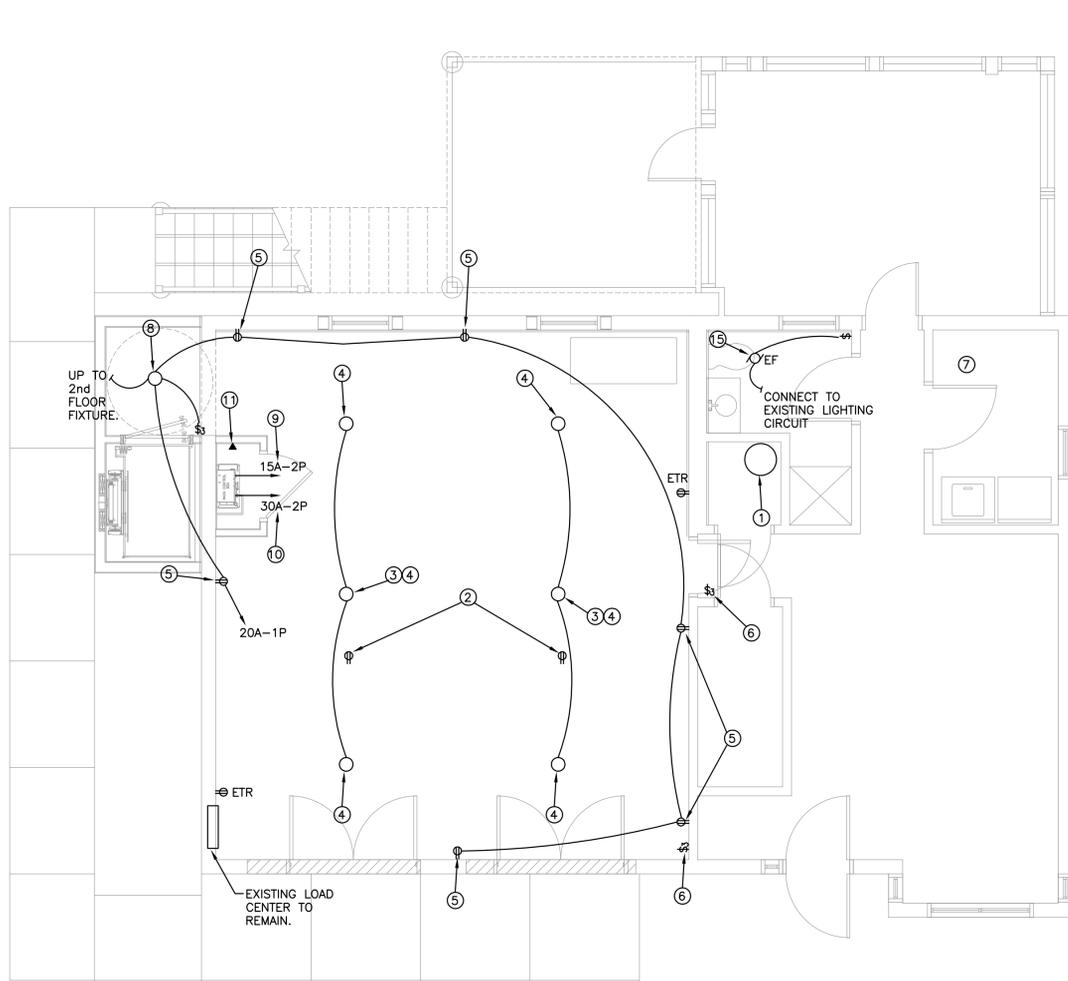
M1.1



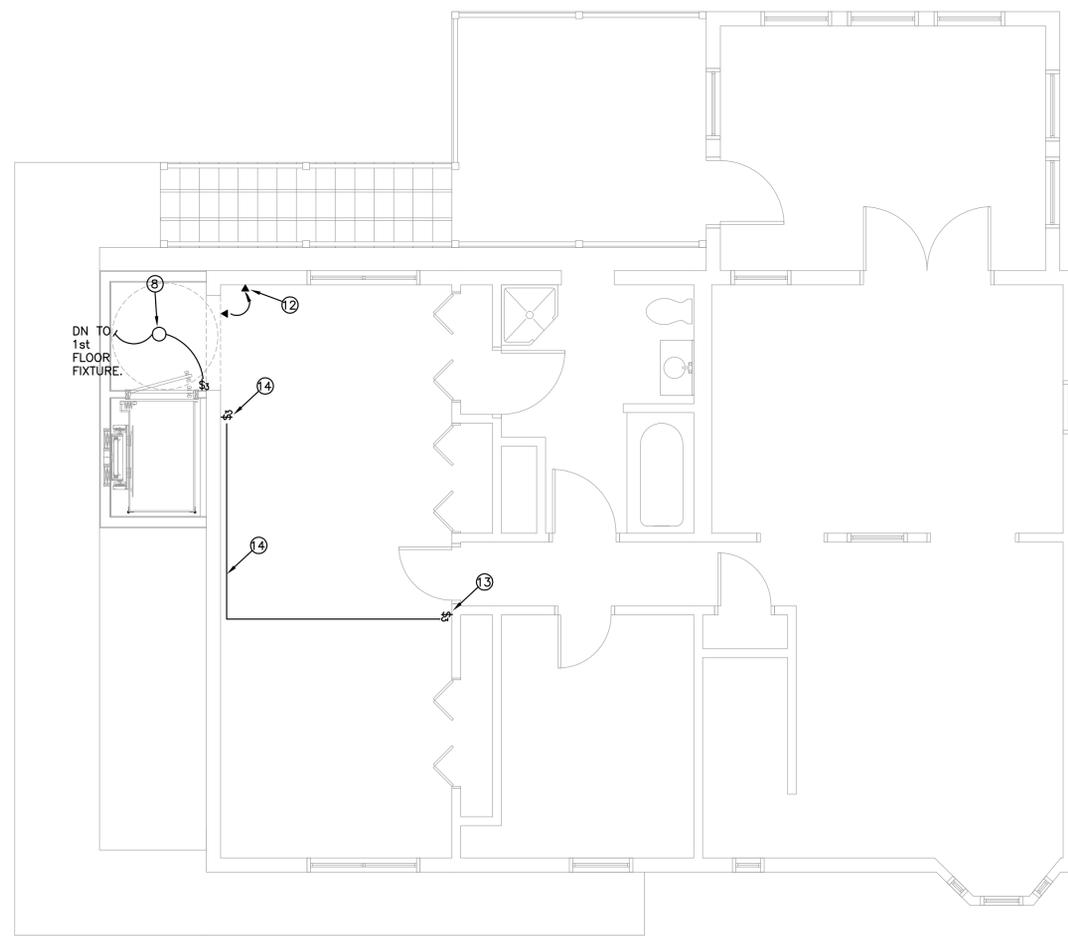
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REHABILITATION/RECONSTRUCTION WORK FOR:
CHERA SIMPSON
APPLICANT # 1377
174 RODNEY STREET
WATERBURY, CT



MAIN LEVEL – ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



UPPER LEVEL – ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

NOTES:

- ① DISCONNECT AND REMOVE WATER HEATER CIRCUIT BACK TO LOAD CENTER.
- ② REMOVE EXISTING CEILING RECEPTACLES AND CIRCUITING. MAINTAIN CIRCUIT CONTINUITY TO DEVICES THAT REMAIN.
- ③ REMOVE EXISTING LIGHT FIXTURES. RETAIN CIRCUITING FOR CONNECTION TO NEW FIXTURES.
- ④ NEW LIGHT FIXTURE – HALO #H27T – 426RG WITH 16 WATT-R30 SCREW-IN COMPACT FLUORESCENT LAMP. CONNECT TO EXISTING CIRCUIT. EXTEND EXISTING SWITCHED CIRCUIT TO NEW FIXTURES.
- ⑤ NEW DUPLEX RECEPTACLES. ROUTE NEW CIRCUIT (2#12+12G.) TO NEW 20A-1P CIRCUIT BREAKER IN LOAD CENTER.
- ⑥ EXISTING LIGHT SWITCHES TO REMAIN.
- ⑦ DISCONNECT/RECONNECT BOILER AND CONTROLS. REUSE EXISTING CIRCUIT AND WIRE NEW BOILER, PUMPS AND SWITCHING RELAY THROUGH EXISTING SAFETY SWITCH.
- ⑧ NEW LIGHT FIXTURE – HALO #H27T – 426RG WITH 16 WATT-R30 SCREW-IN COMPACT FLUORESCENT LAMP. CONNECT TO NEW CIRCUIT. PROVIDE NEW 3-WAY SWITCHING.
- ⑨ 2#12+12G TO NEW 15A-1P CIRCUIT BREAKER IN LOAD CENTER (FOR ELEVATOR LIGHTS.)
- ⑩ 2#10+10G TO SPARE 30A-2P CIRCUIT BREAKER IN LOAD CENTER (FOR ELEVATOR POWER.)
- ⑪ ROUTE NEW TELEPHONE CABLE TO ELEVATOR CONTROLLER FOR CAB PHONE.
- ⑫ RELOCATE EXISTING TELEPHONE OUTLET AT LOCATION OF NEW OPENING.
- ⑬ REPLACE EXISTING LIGHT SWITCH WITH 3-WAY TYPE.
- ⑭ PROVIDE NEW 3-WAY LIGHT SWITCH. ROUTE 3#12 IN CEILING SPACE BELOW TO NEW 3-WAY SWITCH AT BEDROOM ENTRANCE (SEE NOTE 13.)
- ⑮ NEW BATHROOM EXHAUST FAN (SEE MECHANICAL DRAWINGS.) CONNECT TO UNSWITCHED LEG OF EXISTING AREA LIGHTING CIRCUIT. PROVIDE NEW SWITCH AND CIRCUITING FOR FAN CONTROL.

Sheet Description:
ELECTRICAL PLANS

Issue Dates: 07-11-2014

Scale: **AS NOTED**

Project #: QA 1346-1
Drawn By: DL

Sheet #:

E1.1