



QUISENBERRY ARCARI

ARCHITECTS, LLC

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REHABILITATION / RECONSTRUCTION WORK FOR:

MARTHA L. EDWARDS RESIDENCE

APPLICANT #2102

ISSUE DATE: JANUARY 26, 2015

172 PURITAN ROAD

FAIRFIELD, CT

LIST OF DRAWINGS

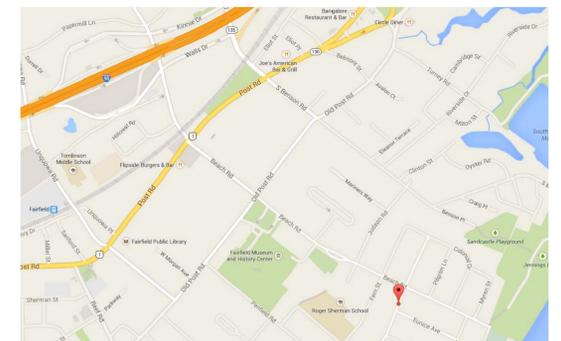
A1.1 COVER
 SITE PLAN
 REPAIR PLAN

COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION
& REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM
THE CONNECTICUT DEPARTMENT OF HOUSING

LOCATION MAP



ZONING DATA

Zoning Information -- Zone "A" Residential

STATUS	REQUIRED	EXISTING CONDITION	PROPOSED	AS - BUILT CONDITION
MINIMUM LOT AREA	9,375 S.F.	11,753 S.F.		
MIN. SQUARE ON LOT	75'	86'		
MINIMUM LOT FRONTAGE	75'	86'		
DENSITY- MIN. LOT AREA PER DWELLING UNIT				
ONE FAMILY	9,375 S.F.	11,753 S.F.		
TWO FAMILY				
THREE FAMILY				
FOUR FAMILY				
EACH ADDITIONAL UNIT				
MINIMUM SETBACKS:				
FROM STREET LINE	30'	43.8'		
SIDE PROPERTY LINES (MORE THAN ONE STORY)	20'	20.4'		
ONE SIDE PROPERTY LINE	25'			
REAR PROPERTY LINE	7'	4.9'		
ONE STREET LINE ON COR. (ONE STORY)	30'	63.8'		
(MORE THAN ONE STORY)	17'			
MINIMUM FLOOR AREA:				
ONE STORY BUILDING	750 S.F.	1,867 S.F.		
SPLIT LEVEL BUILDING	1,000 S.F.			
TWO OR MORE STORY BLDG TOTAL FLOOR AREA	1,000 S.F.			
GROUND FLOOR AREA	650 S.F.			
FLOOR AREA PER APARTMENT	500 S.F.			
MAX. HEIGHT FOR BUILDING	32'			
MAX. NO. STORIES FOR BUILDING	2-1/2			
MAX. BLDG LOT COVERAGE (% OF LOT AREA)	20%	15.9%		
MAX. BLDG FLOOR AREA (% OF LOT AREA)	40%			
MINIMUM FIRST FLOOR ELEVATION	FIRM BFE= 11'	FFE= 8.2'		

Average Grade Around Residence:

Elevation= 6.3
 Elevation of roof peak= n/a at this time
 Elevation of roof eaves= n/a at this time
 Elevation of roof midpoint= n/a at this time

Height of Residence:

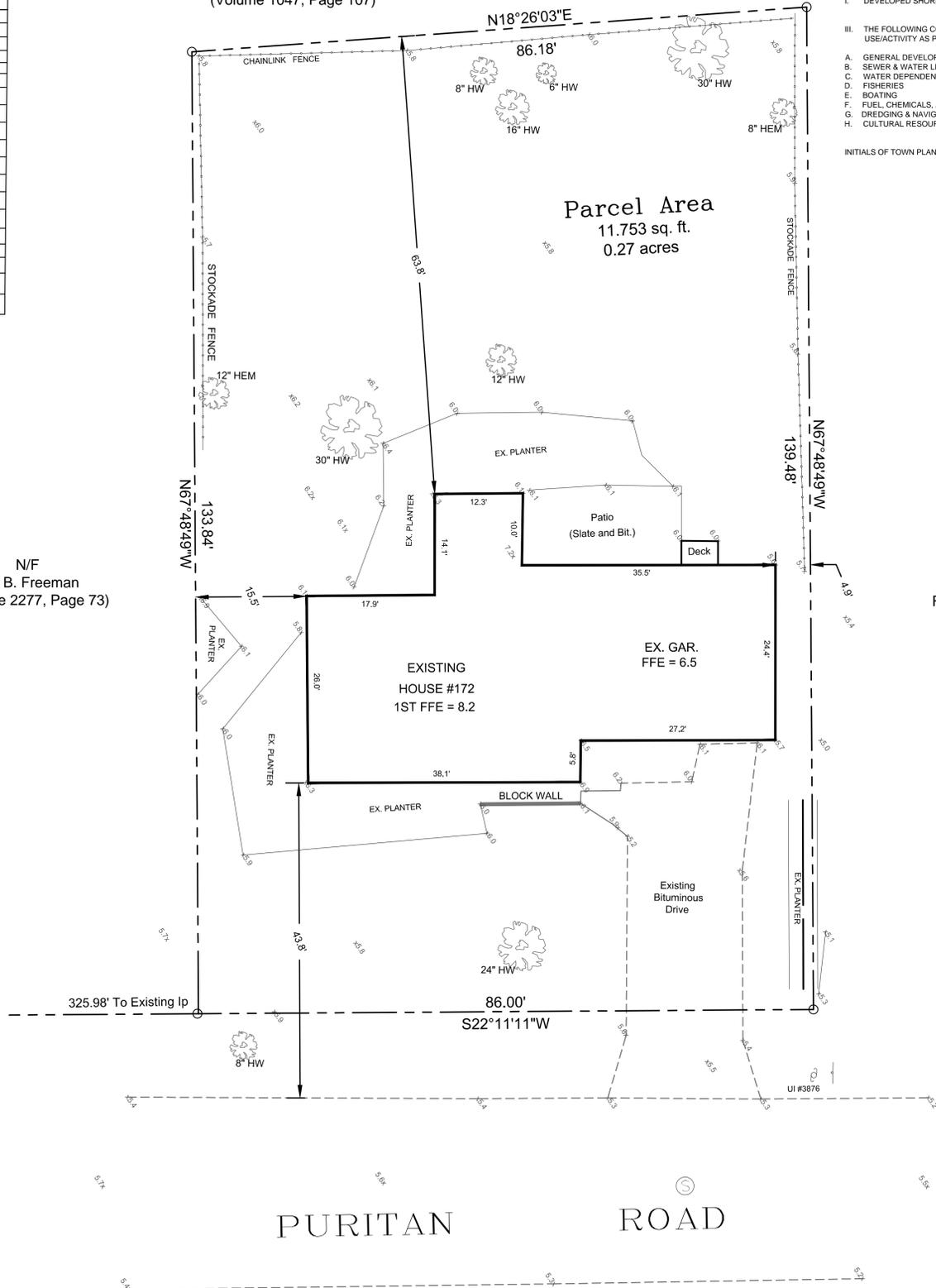
Elevation of roof midpoint - n/a at this time
 Finish floor elevation of elevated residence= 8.2
 Concrete floor elevation= n/a at this time
 Attached garage floor elevation= 6.5
 As-built building lot coverage: n/a at this time
 As-built building floor area: n/a at this time

SURVEY NOTES:

- This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
- Type of survey performed: Zoning Location Survey
- Boundary determination category: Dependent Resurvey
- Class of accuracy:
 Horizontal: A-2
 Vertical: T-2
- The intent of this map is to depict the position horizontally and where required vertically, between particular existing or proposed improvements with respect to the applicable municipal or statutory requirements.
- Map References:
 a) Colonial Gardens, No. 3 dated: September 21, 1945, By Andrews S, Hintington, on file in the Fairfield Town Clerk's Office as Map No. 1323
- Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
- Zone: A
- Total area: 11,753 S.F. / 0.27 Ac.
- Martha Lennon Edwards
- Town of Fairfield Assessors Map #139 Lot #145
- Filed in Volume 1096, Page 265 of the Town Clerk's office.
- Contours are established from field topography.
- Vertical Datum is NAVD 1988 and based on the CGS Mon LX 0935.
- There are wetlands located on the property as shown.
 There are no tidal wetlands located on the subject property.
- The subject property is located in Zone "AE", (BFE=11.0') which is a "Special Flood Hazard Area" subject to inundation by 1% annual-chance flood event determined by FEMA. The 500 year Flood subject to inundation is 13.75'. (See Firm Map 090007 Panel 438 of 626 G Map #09001C0438G, Revised July 8, 2013). The subject property is in the Coastal Area Management (CAM).
- This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.

N/F
 Leona B. Freeman
 (Volume 2277, Page 73)

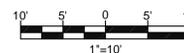
N/F
 Sharon Keeley Longrove
 (Volume 1047, Page 107)



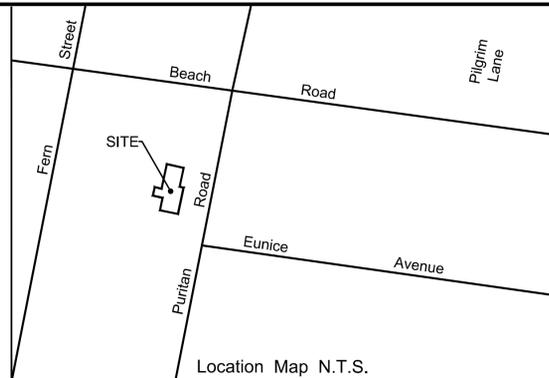
N/F
 Robert A. & Marguerite DeMaria
 (Volume 8966, Page 206)

LEGEND

- = Existing utility pole
- = Existing light pole
- = Existing fire hydrant
- = Existing water valve
- = Existing gas valve
- = Existing underground pipe
- = Existing edge of pavement
- = Existing bituminous concrete lip curb
- = Existing well
- = Existing catch basin
- = Existing drainage manhole
- = Existing sanitary manhole
- = Existing contour
- = Existing spot elevation
- = Existing iron pin
- = Existing drill hole
- = Existing monument



- I. COASTAL RESOURCES AT AND ADJACENT TO THE SITE:
- | | | | |
|--------------------------------------|-------------------------------------|--------------------------------|-------------------------------------|
| A. GENERAL RESOURCE | <input checked="" type="checkbox"/> | J. ISLAND | <input type="checkbox"/> |
| B. BLUFF & ESCARPMENTS | <input type="checkbox"/> | K. SHORELANDS | <input checked="" type="checkbox"/> |
| C. ROCKY SHOREFRONTS | <input type="checkbox"/> | L. SHELLFISH CONGREGATION AREA | <input type="checkbox"/> |
| D. BEACHES & DUNES | <input type="checkbox"/> | EASTERN OYSTER | <input type="checkbox"/> |
| E. INTERTIDAL FLATS | <input type="checkbox"/> | HARD CLAM | <input type="checkbox"/> |
| F. TIDAL WETLANDS | <input type="checkbox"/> | M. NEARSHORE COASTAL WATER | <input type="checkbox"/> |
| G. FRESHWATER WETLANDS & WATERCOURSE | <input type="checkbox"/> | N. OFFSHORE COASTAL WATER | <input type="checkbox"/> |
| H. COASTAL HAZARD AREAS | <input checked="" type="checkbox"/> | O. ESTUARINE EMBAYMENT | <input type="checkbox"/> |
| I. DEVELOPED SHOREFRONT | <input checked="" type="checkbox"/> | P. AIR RESOURCE & AIR QUALITY | <input type="checkbox"/> |
- II. COASTAL RESOURCES NOT IMMEDIATELY ADJACENT TO THE SITE, BUT BECAUSE OF DOWNSTREAM LOCATION, OFF-SITE DRAINAGE, TIDAL INFLUENCE, CURRENTS AND OTHER FACTORS, MAY BE IMPACTED BY THE PROPOSED USE/ACTIVITY:
- | | | | |
|--------------------------------------|-------------------------------------|--------------------------------|-------------------------------------|
| A. GENERAL RESOURCE | <input checked="" type="checkbox"/> | J. ISLAND | <input type="checkbox"/> |
| B. BLUFF & ESCARPMENTS | <input type="checkbox"/> | K. SHORELANDS | <input checked="" type="checkbox"/> |
| C. ROCKY SHOREFRONTS | <input type="checkbox"/> | L. SHELLFISH CONGREGATION AREA | <input type="checkbox"/> |
| D. BEACHES & DUNES | <input type="checkbox"/> | EASTERN OYSTER | <input type="checkbox"/> |
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| F. TIDAL WETLANDS | <input type="checkbox"/> | M. NEARSHORE COASTAL WATER | <input type="checkbox"/> |
| G. FRESHWATER WETLANDS & WATERCOURSE | <input type="checkbox"/> | N. OFFSHORE COASTAL WATER | <input type="checkbox"/> |
| H. COASTAL HAZARD AREAS | <input checked="" type="checkbox"/> | O. ESTUARINE EMBAYMENT | <input type="checkbox"/> |
| I. DEVELOPED SHOREFRONT | <input checked="" type="checkbox"/> | P. AIR RESOURCE & AIR QUALITY | <input type="checkbox"/> |
- III. THE FOLLOWING COASTAL POLICIES ARE APPLICABLE TO THE USE/ACTIVITY AS PROPOSED:
- | | | | |
|---|-------------------------------------|------------------------------------|--------------------------|
| A. GENERAL DEVELOPMENT | <input checked="" type="checkbox"/> | I. COASTAL STRUCTURES AND FILLING | <input type="checkbox"/> |
| B. SEWER & WATER LINES | <input checked="" type="checkbox"/> | J. PORT AND HARBORS | <input type="checkbox"/> |
| C. WATER DEPENDENT USES | <input checked="" type="checkbox"/> | K. SOLID WASTE | <input type="checkbox"/> |
| D. FISHERIES | <input checked="" type="checkbox"/> | L. OPEN SPACE & AGRICULTURAL LANDS | <input type="checkbox"/> |
| E. BOATING | <input type="checkbox"/> | M. COASTAL RECREATION AND ACCESS | <input type="checkbox"/> |
| F. FUEL, CHEMICALS, AND HAZARDOUS MATERIALS | <input type="checkbox"/> | N. DAMS, DIKES AND RESERVOIRS | <input type="checkbox"/> |
| G. DREDGING & NAVIGATION | <input type="checkbox"/> | O. TRANSPORTATION | <input type="checkbox"/> |
| H. CULTURAL RESOURCES | <input type="checkbox"/> | P. ENERGY FACILITIES | <input type="checkbox"/> |
- INITIALS OF TOWN PLAN & ZONING STAFF MEMBER _____



TITLE BLOCK

F.E.M.A. STANDARDS - ONLY IF IN FLOOD HAZARD AREAS
 ZONING COMPLIANCE PREDICATED ON A. B. C. & D.

A. All new construction and substantial improvements shall:

- Be designed or modified and adequately anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including effects of buoyancy.
- Be constructed with materials resistant to flood damage.
- Be constructed by methods and practice that minimized flood damage.
- Be constructed with electrical, heating, ventilation, plumbing and air-conditioning equipment and other services facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.

B. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system.

C. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the systems and discharges from the system into flood waters and on-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.

D. All new construction and substantial improvements shall have the lowest floor, including the basement elevated to or above the base flood level and if constructed with a fully enclosed area below this lowest floor shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for entry and exit of flood waters.

TITLE BLOCK

1. STREET ADDRESS: # 172 PURITAN ROAD
 2. ASSESSORS MAP # 139, PARCEL # 145
 3. MAP: "A" RESIDENTIAL DISTRICT
 4. APPLICANT: MARTHA LENNON EDWARDS
 172 PURITAN ROAD
 FAIRFIELD, CONNECTICUT 06824
 5. OWNER: MARTHA LENNON EDWARDS
 172 PURITAN ROAD
 FAIRFIELD, CONNECTICUT 06824
 6. DESCRIPTIVE TITLE: ELEVATING AN EXISTING ONE STORY ONE FAMILY DWELLING WITH ASSOCIATED DECKS
 7. ORIGINAL DATE OF PLANS AND ANY SUBSEQUENT REVISION DATES LABELED FIRST, SECOND, ETC., AND NOTE THE PURPOSE AND LOCATION OF THE REVISION:
 NOVEMBER 21, 2014
 8. PREPARED BY: JEREMY LOVATO
 HARRY E. COLE & SON
 876 SOUTH MAIN STREET
 PLANTSVILLE, CONNECTICUT 06479
 (860) 628-4484
 9. To the best of my knowledge and belief these drawings are substantially correct as noted hereon.

Stephen M. Gudice, L.S.



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RENOVATIONS FOR:
MARTHA L. EDWARDS
APPLICANT #2102
172 PURITAN ROAD
FAIRFIELD, CT

Sheet Description:

REPAIR PLAN

Issue Dates:

JANUARY 26, 2015

1/4" = 1'-0"

Project #: QA 1346-43
Drawn By: DR

Sheet #:

A1.1

1 6



1 6



1 6



1 6



1 6



1



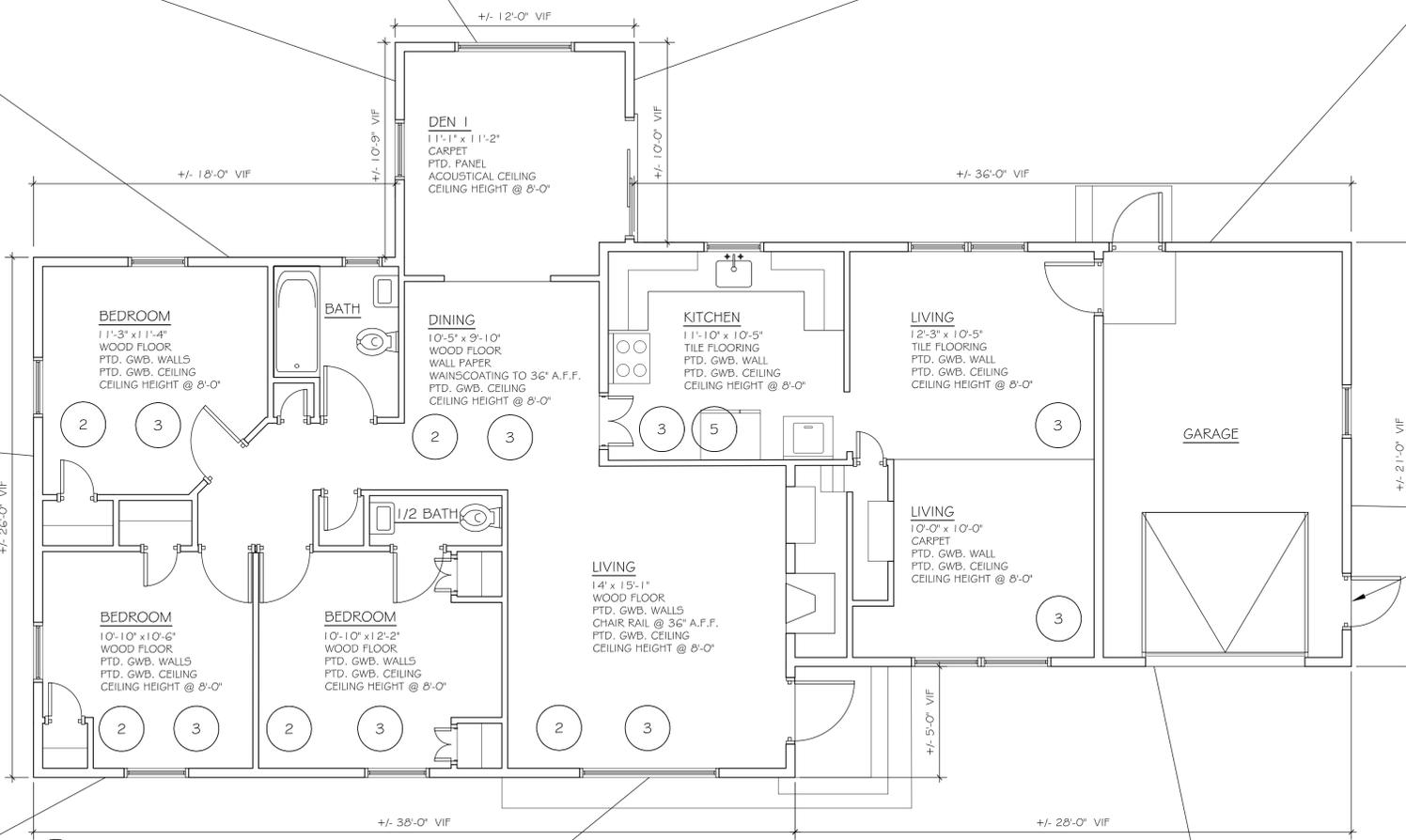
1 4 6



1 6



1 6



1 EXISTING FLOOR PLAN
1/4" = 1'-0"

KEY NOTES

1. ALL MATERIAL TO RECEIVE PAINT MUST BE FREE OF DIRT, MOISTURE, MILDEW AND OTHER CONTAMINANTS. THE APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ALL NAIL HOLES, CRACKS AND OTHER SMALL HOLES SHOULD BE FILLED AFTER PRIMER COAT. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS. ONCE PREPPED PROPERLY REPAINT AS REQUIRED.
2. STRIP, SAND, AND REFINISH WOOD FLOORS. REMOVE, STORE, RE-INSTALL AND REPAINT ALL BASE TRIM.
3. CLEAN, SCRAPE, PREP, AND REPAINT WALLS, CEILINGS, AND TRIM AS REQD.
4. REPAIR DAMAGED SHUTTERS.
5. ABATE MOLD SEE SPECIFICATIONS.
6. ABATE PAINT SEE SPECIFICATIONS.

