



QUISENBERRY ARCARI ARCHITECTS, LLC

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REHABILITATION / RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

ISSUE DATE: JUNE 26, 2015

104 MELBA STREET

MILFORD, CT

CONSULTANTS



Fuss & O'Neill EnviroScience, LLC
56 Quarry Road
Trenton, CT 06611



**MECHANICAL AND ELECTRICAL
ENGINEERING**
750 OLD MAIN STREET
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COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM (CDBG-DR)

OWNER OCCUPIED REHABILITATION
& REBUILDING PROGRAM (OORR)

SPONSORED IN CONJUNCTION WITH FUNDING FROM
THE CONNECTICUT DEPARTMENT OF HOUSING



LOCATION MAP



104 MELBA STREET, MILFORD (QA#1346-15)

ABBREVIATIONS

A.F.F.	Above Finish Floor	HGT.	Height
A.C.	Acoustic, Acoustical	H.M.	Hollow Metal
A.C.T.	Acoustical Tile	HORIZ.	Horizontal
A/C	Air Conditioning	H.B.	Hose Bibb
A.H.U.	Air Handling Unit	IN.	Inch
ALT.	Alternate	INCL.	Included
ALUM.	Aluminum	INFO.	Information
ALF.	Aluminum Frame	I.D.	Inside Diameter
ANCH.	Anchor, Anchorage	INSUL.	Insulation
AB.	Anchor Bolt	INT.	Interior
L	Angle	JT.	Joint
ANOD.	Anodized	K.P.	Kick Plate
APFR.	Approved	LAB	Laboratory
ARCH.	Architect, Architectural	LAV.	Lavatory
ASB.	Asbestos	LTG.	Lighting
A.P.B.O.	As Provided By Owner	MACH.	Machine
A.S.B.O.	As Selected By Owner	MAINT.	Maintenance
ASPH.	Asphalt	MFRG.	Manufacturer
ASSY.	Assembly	M.B.D.	Marker Board
ASST.	Assistant	MAS.	Masonry
AUTO.	Automatic	M.O.	Masonry Opening
BM	Beam	MAT.	Material
BRG.	Beaming	MAX.	Maximum
BEV.	Bevel, Beveled	MECH.	Mechanical
BIT.	Bituminous	MEZZ.	Mezzanine
BLK.	Block	MIN.	Minimum
BLKG.	Blocking	MISC.	Miscellaneous
BD.	Board	N	North
BOT.	Bottom	N.I.C.	Not In Contract
B.O.	Bottom Of	N.T.S.	Not To Scale
B.E.J.	Brick Expansion Joint	OFF.	Office
BLDG.	Building	O.C.	On Center
B.U.R.	Built Up Roofing	O.H.	Overhead
CAB.	Cabinet	O.D.	Outside Diameter
C.U.H.	Cabinet Unit Heater	PTD.	Painted
CAP.	Capacity	PR.	Pair
CASE	Casement	P.T.D.	Paper Towel Dispenser
CLG.	Ceiling	PASS.	Passage
CLGHT.	Ceiling Height	PERP.	Perpendicular
CEM.	Cement	PLAS.	Plaster
CTR.	Center	PLAM.	Plastic Laminate
CL	Centerline	PL	Plate
C.T.	Ceramic Tile	PLUMB.	Plumbing
C.BD.	Chalk Board	PLYWD.	Plywood
CLO.	Closet	PVC.	Polyvinylchloride
COL.	Column	P.E.J.	Precast Expansion Joint
CONC.	Concrete	PREFAB.	Prefabricated
CONF.	Conference	QTY.	Quantity
CJ	Control Joint	Q.T.	Quarry Tile
CONT.	Continuous	RAD.	Radius
CONTR.	Contractor	RWC	Rain Water Conductor
CORR.	Corridor	REC.V.	Receiving
CRS.	Course, Courses	REFR.	Refrigerator
DEG.	Degree	REINF.	Reinforce
DEMO.	Demolition	REM	Remove
DEPT.	Department	REQD	Required
DET.	Detail	REV.	Revised, Revision
DIA.	Diameter	R.	Riser
DIM.	Dimension	R.D.	Roof Drain
DIST.	Distance	RM.	Room
DR.	Door	S.N.D.	Sanitary Napkin Dispenser
DBL.	Double	S.N.R.	Sanitary Napkin Receptacle
D.H.	Double Hung	SCHED.	Schedule
DN	Down	SC.	Scupper
D.S.	Downspout	SECT.	Section
DWG.	Drawing	S.J.	Seismic Joint
D.F.	Drinking Fountain	SHT.	Sheet
EA.	Each	SIM.	Similar
ELEC.	Electric, Electrical	S.D.	Soap Dispenser
EW.C.	Electric Water Cooler	S.T.D.	Sound Transmission Class
EL.	Elevation	S.T.C.	Sound Transmission Coefficient
ELEV.	Elevator	SPEC.	Specifications
EMERG.	Emergency	SQ.	Square
EQ.	Equal	S.F.	Square Feet
EQUIP.	Equipment	S.S.	Stainless Steel
EXIST.	Existing	STD.	Standard
E.T.R.	Existing To Remain	STL.	Steel
EXP.	Expansion	STOR.	Storage
E.J.	Expansion Joint	STRUCT.	Structure, Structural
EXT.	Exterior	S.STL.	Structural Steel
E.I.F.S.	Exterior Insulation Finish System	SUSP.	Suspend, Suspension
FT.	Feet, Foot	S.A.T.C.	Susp. Acoustic Tile Ceiling
F.R.G.P.	Fiber Reinforced Gypsum Panel	T.BD.	Tack Board
FIN.	Finish, Finished	THRU	Through
F.E.	Fire Extinguisher	T.P.D.	Toilet Paper Dispenser
F.R.	Fire Retardant	T.M.E.	To Match Existing
FPRFG.	Fireproofing	T&G	Tongue and Groove
FIXT.	Fixture	T.O.	Top Of
FLASH	Flashing	T.	Tread
FLR.	Floor	TYP.	Typical
F.D.	Floor Drain	U.L.	Underwriter's Laboratory
FLR.FIN.	Floor Finish	U.H.	Unit Heater
FTG.	Footing	U.V.	Unit Ventilator
FDN.	Foundation	U.O.N.	Unless Otherwise Noted
FURN.	Furnish, Furnishings, Furniture	VEST.	Vestibule
FURR.	Furred, Furring	VCT.	Vinyl Composition Tile
GA.	Gauge	W.P.	Waterproofing
GALV.	Galvanized	W.W.F.	Welded Wire Fabric
GYP. BD.	Gypsum Board	W.BD.	White Board
G.C.	General Contractor	W	With
H.C.	Handicapped	WD.	Wood

WOOD

- ALL STRUCTURAL WOOD SHALL BE IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" AND THE "MANUAL OF HOUSE FRAMING" AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA), INCLUDING PROVISIONS FOR NAILING, FIRE STOPPING, ANCHORAGE, FRAMING AND BRACING.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, STRUCTURAL LUMBER SHALL BE AS FOLLOWS:
 - A. INTERIOR EXPOSURE: STRUCTURAL WOOD PROTECTED FROM MOISTURE SHALL BE MEM-FIR #2 OR BETTER
 - B. EXTERIOR EXPOSURE: STRUCTURAL WOOD EXPOSED TO MOISTURE, THE WEATHER, IN CONTACT WITH CONCRETE, LOCATED WITHIN 8 INCHES OF SOIL, OR LESS THAN 18 INCHES FROM THE FLOOR OF A CRAWL SPACE SHALL BE PRESERVATIVE TREATED SOUTHERN YELLOW PINE #2 OR BETTER, WITH RETENTION MEETING OR EXCEEDING THE REQUIREMENTS OF THE BUILDING CODE.
 - C. PLYWOOD: PLYWOOD SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS (5 1/2). PLYWOOD FLOOR DECKING SHALL BE CONTINUOUS OVER TWO OR MORE SPANS WITH THE FACE-GRAIN RUNNING PERPENDICULAR TO SUPPORT JOISTS.
 - I. ROOF SHEATHING: C-D/EXT-APA, 1/2" THICK
 - II. WALL SHEATHING: C-D/EXT-APA, 1/2" THICK
 - III. SUBFLOORING: C-D/EXT-APA, 3/4" THICK
- NAILING SCHEDULE SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODE'S "RECOMMENDED FASTENING SCHEDULE". NAIL PLYWOOD SHEATHING AND SUBFLOORING @ 9" O.C. AT EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS, LEAVING SPACES BETWEEN PANELS AS RECOMMENDED BY THE APA. UTILIZE RING-SHANK OR SCREW TYPE NAILS FOR PLYWOOD SUBFLOORING AND APPLY APPROPRIATE CONSTRUCTION ADHESIVE TO ADEQUATELY SECURE PLYWOOD TO FLOOR JOISTS.
- INSTALL JOIST HANGERS, COLUMN CAPS AND BASES WHERE REQUIRED. METAL FABRICATIONS SHALL BE OF APPROPRIATE SIZE AND TYPE FOR THE MEMBERS AND SUPPORT CONDITIONS. WHERE FLANGE SUPPORT JOIST HANGERS ARE USED IN CONJUNCTION WITH STEEL BEAMS, CARE SHALL BE TAKEN TO INSTALL THE HANGERS CLEAR OF CONTACT WITH THE STEEL BEAM BY INSTALLING 2X WOOD TOP PLATES.
- NOTCHING SHALL NOT EXCEED 1/6TH OF THE DEPTH OF A JOIST OR RAFTER AND SHALL OCCUR ONLY IN THE OUTER QUARTER OF THE SPAN. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE HALF OF THE SPAN. NOTCH LENGTH SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. NOTCHES ARE NOT PERMITTED IN ENGINEERED LUMBER PRODUCTS.
- HOLES IN JOISTS OR RAFTERS SHALL OCCUR IN THE MIDDLE 1/3RD OF THE SPAN. THE HOLE DIAMETER SHALL NOT EXCEED 1/3RD OF THE JOIST DEPTH. HOLES IN ENGINEERED LUMBER PRODUCTS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- ENGINEERED LUMBER INDICATED ON THE DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. JOISTS LABELED TJI ARE COMPOSITE I-JOISTS AS MANUFACTURED BY TRUS-JOIST. MEMBERS LABELED LVL ARE LAMINATED VENEER LUMBER (1.9E MICROLAM BY TRUS-JOIST). THE SUBSTITUTION OF OTHER PRODUCTS ARE ONLY PERMITTED WITH BACKUP ENGINEERING PLANS AND CALCULATIONS.

FINISHES

- GYPSUM BOARD**
- PROVIDE AND INSTALL GYPSUM WALL BOARD IN ACCORDANCE WITH AMERICAN STANDARD SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD, AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, LATEST EDITION; APPLICABLE PARTS THEREOF ARE HEREBY MADE A PART OF THIS SPECIFICATION EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE CALLED FOR IN THE SPECIFICATION, IN LOCAL CODES, OR BY THE MANUFACTURER OF THE GYPSUM WALLBOARD, WHOSE REQUIREMENTS SHALL BE FOLLOWED.
 - PROVIDE AND INSTALL MOISTURE-RESISTANT GYPSUM WALLBOARD WHERE REQUIRED. PROVIDE TYPE X GYPSUM BOARD AS CALLED FOR ON THE DRAWINGS.
 - PROVIDE 1/2" TYPE X GYPSUM BOARD AT ALL WALLS BETWEEN GARAGE AND HOUSE. 3/8" TYPE X GYPSUM BOARD SHALL BE PROVIDED AT GARAGE CEILING WHICH HAS LIVING SPACE ABOVE.
- PAINT**
- APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.

THERMAL & MOISTURE PROTECTION

- PROVIDE AND INSTALL BUILDING THERMAL INSULATION IN ACCORDANCE WITH THE FOLLOWING:
 - A. EXTERIOR WALLS: R-19 MINIMUM
 - B. SLOPED CEILINGS: R-30 MINIMUM
 - C. FLAT CEILINGS: R-38 MINIMUM
 - D. CEILINGS OVER UNCONDITIONED SPACE: R-21 MINIMUM
 - E. CEILINGS OVER BASEMENT: R-21 MINIMUM
- INSTALL VENTING IN SLOPED CEILING AREAS TO PERMIT AIRFLOW ALONG THE COOL SIDE OF THE INSULATION FROM THE EAVE TO RIDGE.
- DO NOT LEAVE KRAFT-PAPER FACED INSULATION EXPOSED. INSTALL TYPE FSK FOIL TO PROTECT EXPOSED INSULATION.
- INSTALL EITHER INTERIOR AND/OR EXTERIOR FOUNDATION INSULATION AS REQUIRED BY LOCAL BUILDING CODES.

ELECTRICAL MOUNTING HEIGHTS

- ALL DIMENSIONS ARE TO THE CENTER OF THE DEVICE UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR TYPES AND LOCATIONS.
- RECEPTACLES: 18" A.F.F. (AT LOCATIONS ABOVE CASEWORK, MOUNT BOTTOM OF RECEPTACLE AT 2" ABOVE BACKSPASH, AT LOCATIONS BELOW CASEWORK, MOUNT AT 24" A.F.F.)
- EXTERIOR RECEPTACLES: 24" A.F.F. (20" A.F.F.)
- SWITCHES: 48" A.F.F.
- BOILER EMERGENCY SWITCHES: 60" A.F.F.
- DATA / PHONE OUTLETS: 18" A.F.F.
- TV OUTLETS: 18" A.F.F. OR 18" BELOW FINISHED CEILING
- WALL PHONE: 48" A.F.F. TO CENTER OF EARPIECE
- SECURITY KEYPAD: 48" A.F.F.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED
	SPEED (mph)	TOPOGRAPHIC effects		Weathering	Frost line depth	Termin		
30 psf	100	n/a	B	SEVERE	42"	MODERATE TO HEAVY	7° F	YES
FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP	CLIMATE ZONE					
AE I I	>.500 OR LESS	50° F	5A					

CODES THIS PROJECT WAS DESIGNED TO:

2009 INTERNATIONAL RESIDENTIAL CODE W/ 2013 CONNECTICUT AMENDMENT
 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2013 CONNECTICUT AMENDMENT
 2011 NATIONAL ELECTRICAL CODE (NFPA 70) W/ 2013 CONNECTICUT AMENDMENT

ARCHITECTURAL SYMBOLS

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW STUD WALL
	EXISTING FOUNDATION WALL
KITCHEN	
	ELEVATION MARKER
	SECTION MARKER
	DOOR IDENTIFICATION
	WINDOW IDENTIFICATION
	EXISTING DOOR
	NEW DOOR
	DOOR TO BE DEMOLISHED
	WINDOW TO BE DEMOLISHED
	FLOOD VENT TO BE DEMOLISHED

GENERAL NOTES

- ALL CONSTRUCTION ON THIS HOME, AND ANY CHANGES MADE TO THE DESIGN OF THIS HOME, EITHER BEFORE OR DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE BUILDING CODE. NOTHING REPRESENTED WITHIN THESE PLANS SHALL ALLEVIATE THE APPLICABLE CODE REQUIREMENTS FOR THE CONSTRUCTION RELATED TO THIS PROJECT.
- NOTIFY QUISENBERRY ARCARI ARCHITECTS, LLC AT (860) 677-4594 IMMEDIATELY IF PROBLEMS SHOULD ARISE DURING THE CONSTRUCTION ON THIS HOME WITH RESPECT TO STRUCTURAL INTEGRITY, FRAMING CONFLICTS, OR GENERAL CONCERNS.
- THESE DRAWINGS DO NOT REPRESENT ALL COMPONENTS OR DETAILS REQUIRED TO PROPERLY CONSTRUCT THIS HOME. IT IS ASSUMED THAT THE WORK WILL BE PERFORMED BY COMPETENT, SKILLED AND LICENSED TRADE CONTRACTORS IN ACCORDANCE WITH INDUSTRY STANDARDS AND CARE.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW FINISHES (ROOFING, SIDING, TRIM, ETC.) SHALL MATCH EXISTING.
- EXTEND EXISTING SERVICES (MECHANICAL, PLUMBING, ELECTRICAL, ETC.) TO ACCOMMODATE THE HOUSE. PROVIDE UPGRADES TO EXISTING COMPONENTS AS NECESSARY TO PROVIDE SATISFACTORY PERFORMANCE WITHIN THE COMPLETED STRUCTURE.

LIST OF DRAWINGS

REFERENCE	
COVER	
G 1.1	GENERAL NOTES
HAZARDOUS MATERIALS	
HM-01	HAZARDOUS MATERIALS ABATEMENT - BASEMENT
HM-02	HAZARDOUS MATERIALS ABATEMENT - SECOND FLOOR
SURVEY	
ZONING LOCATION SURVEY	
ARCHITECTURAL	
D 1.1	BASEMENT AND FIRST FLOOR DEMOLITION PLANS
D 1.2	SECOND AND ATTIC FLOOR DEMOLITION PLANS
A 1.1	BASEMENT AND FIRST FLOOR PLANS
A 1.2	SECOND AND ATTIC FLOOR PLAN
A 2.1	ELEVATIONS
A 2.2	ELEVATIONS
A 3.1	ROOF PLANS AND DETAILS
A 4.1	DOOR SCHEDULE & ELEVATIONS
A 4.2	DOOR DETAILS
A 5.1	WINDOW SCHEDULE & ELEVATIONS
A 5.2	WINDOW DETAILS
A 5.3	WINDOW DETAILS
AG.1	ENLARGED LANDING AND STAIR PLAN AND EXTERIOR DECKS DETAILS
MEP	
E 1.1	FIRST FLOOR ELECTRICAL PLAN



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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

104 MELBA STREET
MILFORD, CT

Sheet Description:

GENERAL NOTES

Issue Dates:

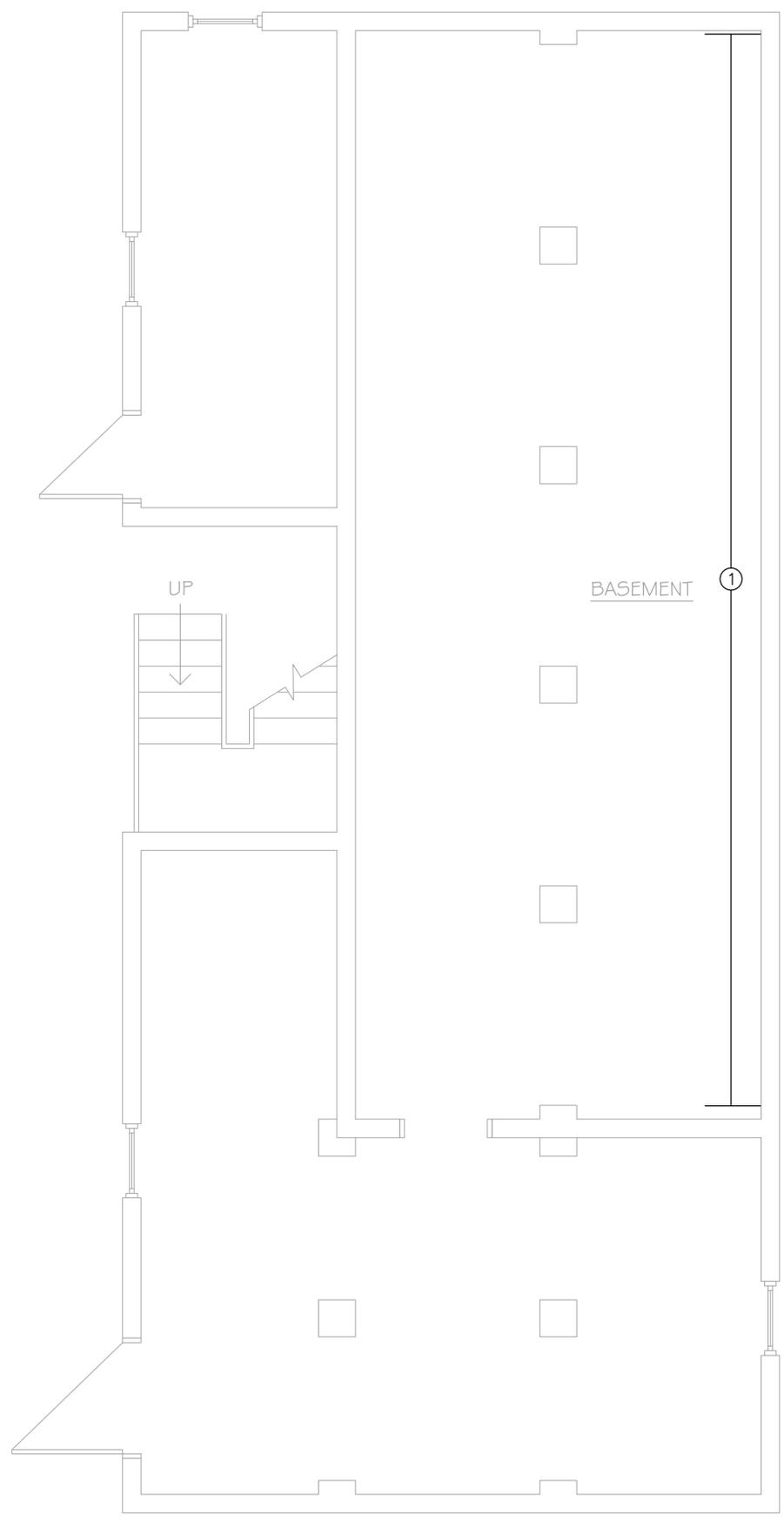
JUNE 26, 2015

No Scale

Project #: QA 1346-15	Drawn By: MPM
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Sheet #:

G1.1



HAZARDOUS MATERIALS ABATEMENT NOTES:

- ① THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ASBESTOS CONTAINING BLACK TAR PATCH ON CONCRETE BLOCK AS ACM.
- ② THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE MOLD CONTAMINATED WALLPAPER AND CARPET. CLEAN VISIBLE MOLD FROM CEILINGS, WALLS, TRIM, AND FLOORS. DISPOSE OF MATERIALS AS GENERAL CONSTRUCTION AND DEMOLITION DEBRIS.

GENERAL PROJECT NOTES:

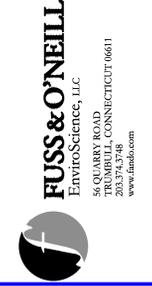
THIS PROJECT MAY REQUIRE MULTIPLE MOBILIZATIONS. WORK IS TO BE COORDINATED WITH BUILDING OWNER AND OTHER TRADES.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING CONSTRUCTION AND FOR TEMPORARY PROTECTION.

THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND QUANTITIES, AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.



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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT # 1555

104 MELBA STREET
 MILFORD, CT

Sheet Description:

HAZARDOUS MATERIALS ABATEMENT
 -
 BASEMENT

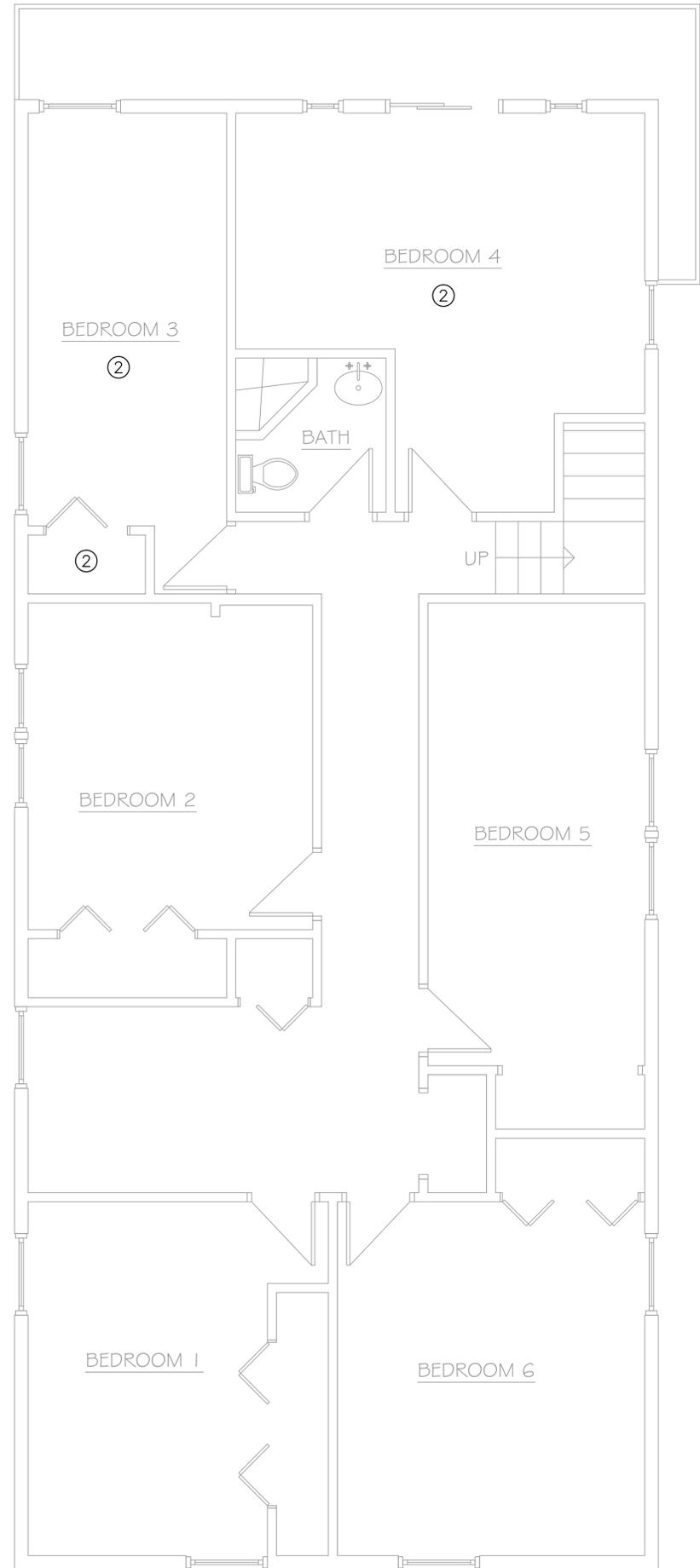
Issue Dates:

JUNE 26, 2015

Project #: QA 1346-15 Drawn By: KSM

Sheet #:

HM-01



HAZARDOUS MATERIALS ABATEMENT NOTES:

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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT # 1555

MILFORD, CT

104 MELBA STREET

Sheet Description:

HAZARDOUS
MATERIALS
ABATEMENT
—
SECOND
FLOOR

Issue Dates:

JUNE 26, 2015

Project #: QA 1346-15
Drawn By: KSM

Sheet #:

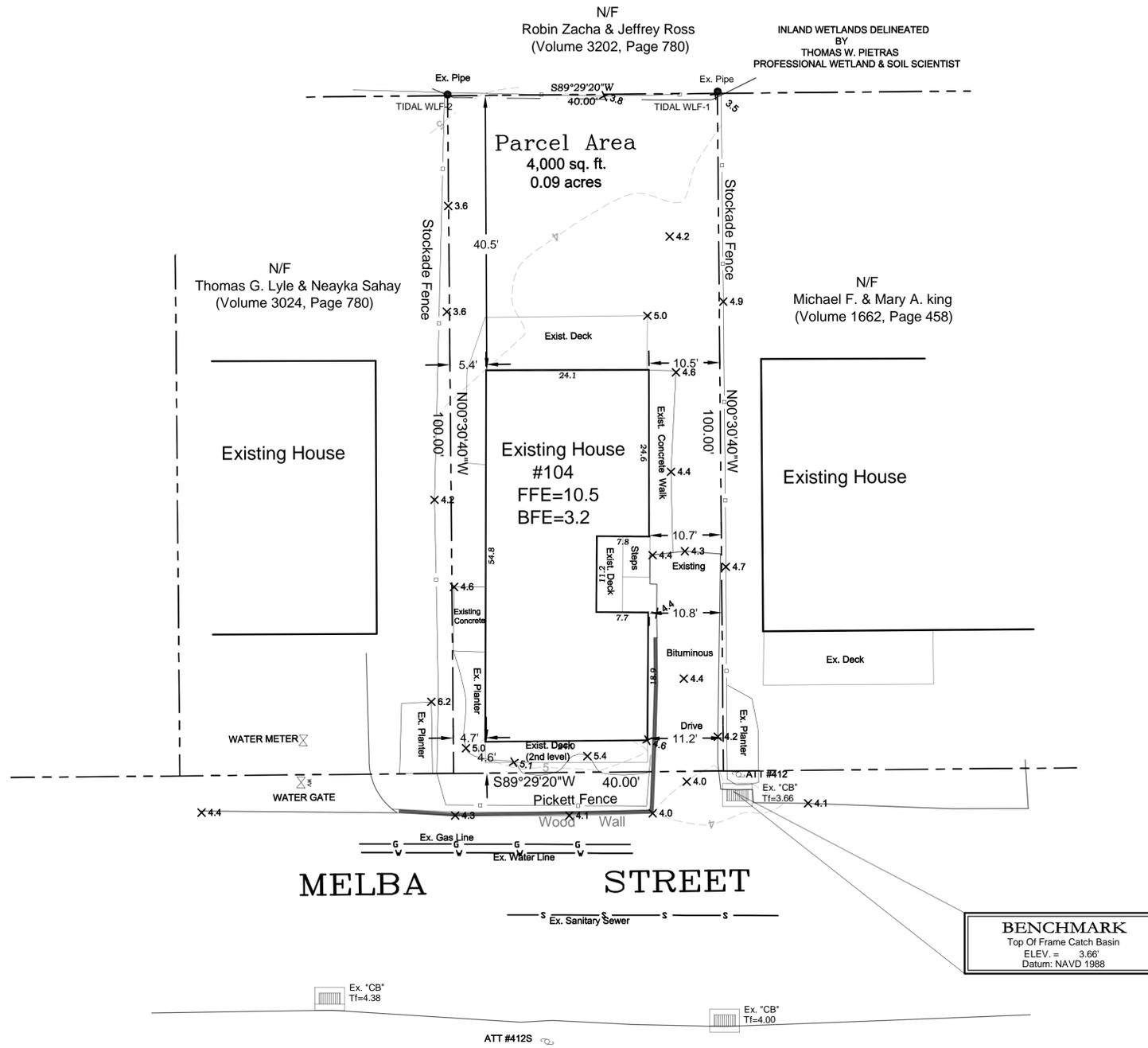
HM-02

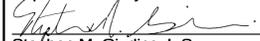
LEGEND

-  = Existing utility pole
-  = Existing light pole
-  = Existing fire hydrant
-  = Existing water valve
-  = Existing gas valve
-  = Existing underground pipe
-  = Existing edge of pavement
-  = Existing bituminous concrete lip curb
-  = Existing well
-  = Existing catch basin
-  = Existing drainage manhole
-  = Existing sanitary manhole
-  = Existing contour
-  = Existing spot elevation
-  = Existing iron pin
-  = Existing drill hole
-  = Existing monument

SURVEY NOTES:

1. This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
2. Type of survey performed: Existing Conditions Survey
3. Boundary determination category: Dependent Resurvey
4. Class of accuracy:
Horizontal: A-2
Vertical: T-2
5. The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an intervals not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.
6. Map References:
 - a) Pond Point Beach, Building Lots, Milford, Conn., Dec. 1910, Revised Feb. 26, 1912, Scale: 1"=100, By V. B. Clarke
7. Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
8. Zone: R5
9. Total area: 4,000 S.F. / 0.09 Ac.
10. Owner: Margaret F. Coyle
11. Town of Milford Assessors Map #029 Block #0589 Parcel #000051
12. Filed in Volume 2649, Page 443 of the Town Clerk's office.
13. Contours are established from field topography.
14. Vertical Datum is NAVD 1988 and based on the CGS Mon LX 0935.
15. There are Tidal Wetlands located on the property as shown.
16. The subject property is situated in Zone "AE", (Elevation 11.0') which is a "Special Flood Hazard Area" subject to inundation by 1% annual-chance flood event determined by FEMA. The 500 Year Flood Event elevation is 13.75'. (Firm Map 09009C Panel 534 Suffix J/ Effective date of July 8, 2013)
17. This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.



DATE	REVISION
To the best of my knowledge and belief, this map is substantially correct as noted hereon.	
 #70145 Stephen M. Giudice, L.S. Reg. No.	
NOT VALID UNLESS EMBOSSED SEAL IS AFFIXED HERETO	

EXISTING CONDITIONS SURVEY
PREPARED FOR
QUISENBERRY ARCARI ARCHITECTS, LLC
104 MELBA SREET
MILFORD, CONNECTICUT
AUGUST 15, 2014 SCALE: 1"=10'



cole
HARRY E. COLE & SON
engineering surveying planning

876 South Main Street
P.O. Box 44
Plainville, CT 06479-0044

Tel: (860) 628-4484
Fax: (860) 629-0196
www.hsc98.com

DEMO NOTES

EXISTING HOUSE STRUCTURE IS TO BE REFURBISHED. DEMO AND MAKE PREPARATIONS FOR NEW WORK. G.C. TO COORDINATE WITH ARCHITECT, CONSTRUCTION ADMINISTRATOR AND OWNER IN THE FIELD PRIOR TO START OF WORK.

ABATE AND PROPERLY DISPOSE OF ALL EXISTING ABATEMENT CONTAINING ITEMS. SEE HAZMAT REPORT FOR LOCATION, PROPER REMOVAL AND DISPOSAL PROCEDURES.

SEE PLANS FOR FULL EXTENT OF WORK.

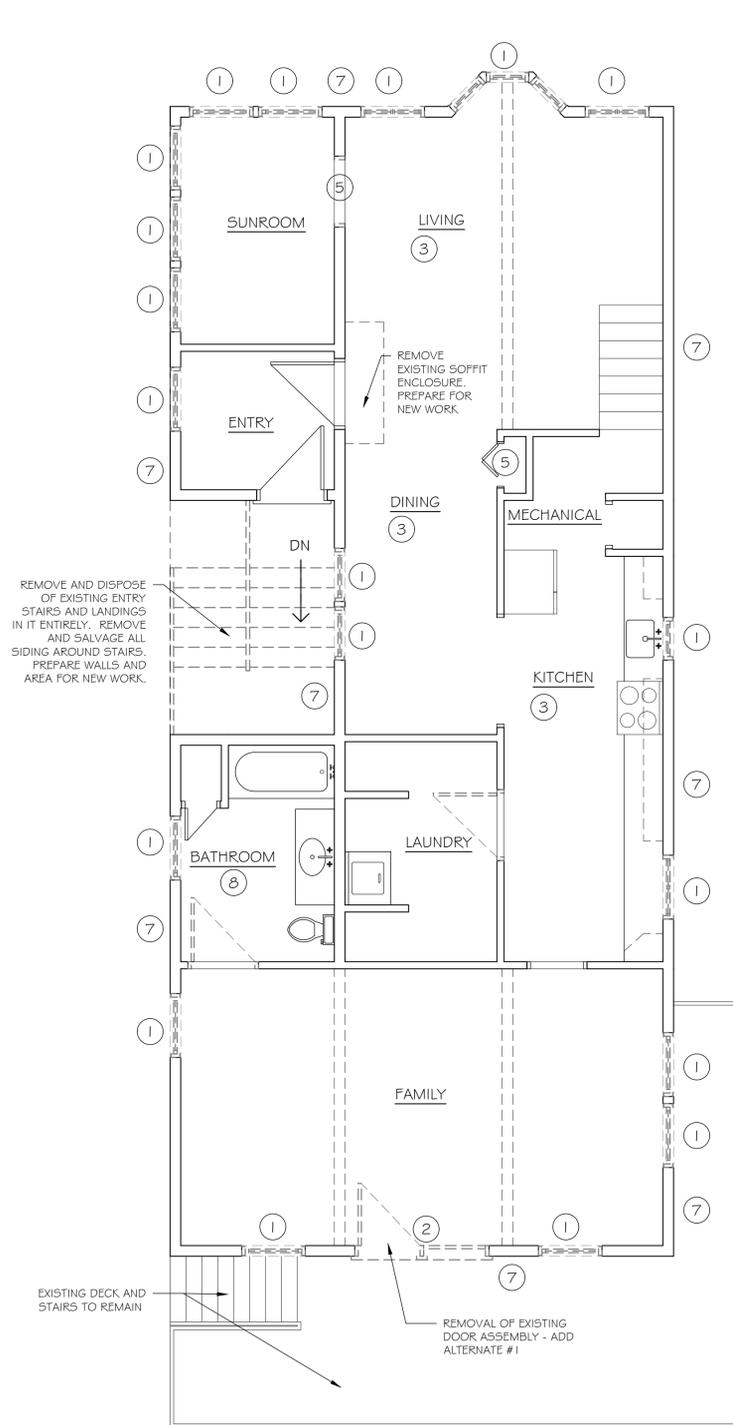
REMOVE AND DISPOSE OF ALL MATERIALS PROPERLY.

DEMO PLAN KEY

- ① REMOVE EXISTING WINDOW ASSEMBLY IN ITS ENTIRETY, INCLUDING TRIM, EXTENSION JAMBS, AND RETURNS TO EXISTING ROUGH OPENING. SEE WINDOW ELEVATION & DETAILS REMOVE EXISTING DRYWALL RETURNS AS REQUIRED TO INSTALL NEW INTERIOR WINDOW TRIM PACKAGE, SEE WINDOW ELEVATION & DETAILS
- ② REMOVE EXISTING DOOR ASSEMBLY IN ITS ENTIRETY, INCLUDING TRIM, EXTENSION JAMBS, AND RETURNS TO EXISTING ROUGH OPENING. SEE DOOR ELEVATION & DETAILS
- ③ REMOVE ALL DAMAGED HARDWOOD FLOORING. PREPARE AREA FOR NEW FLOOR. PREPARE EXISTING FLOOR FOR NEW WORK. GC TO CARRY APPROXIMATELY 215 SQFT OF FLOORING TOTAL FOR ALL HARDWOOD FLOORING REPLACEMENT.
- ④ REMOVE EXISTING MOLDED GYPSUM BOARD CEILING AND WALLS AND INSULATION. REMEDIATE ALL MOLD IN WALLS AND CEILINGS.
- ⑤ REMOVE EXISTING INTERIOR DOOR ASSEMBLY. PREPARE OPENING FOR NEW WORK.
- ⑥ REMOVE EXISTING EXTERIOR FLOOD VENTS ASSEMBLY. PREPARE OPENING FOR NEW WORK.
- ⑦ REMOVE ALL DAMAGED VINYL SIDING ON THE FRONT, AND BOTH SIDES TO THE NEAREST SEAM. PREPARE AREAS FOR NEW WORK. CONTRACTOR TO USE 400 SQFT OF NON-DAMAGED SIDING FROM THE BACK OF THE HOUSE TO REPLACE DAMAGED SIDING. REMOVE PERIMETER FLASHING WHERE NECESSARY TO ACCOMMODATE NEW WINDOWS AND DOOR. PREPARE OPENING FOR NEW PERIMETER FLASHING
- ⑧ REMOVE ENTIRETY OF FLOOR TILE AND WOOD BASE. PREPARE SUBFLOOR FOR NEW TILE.

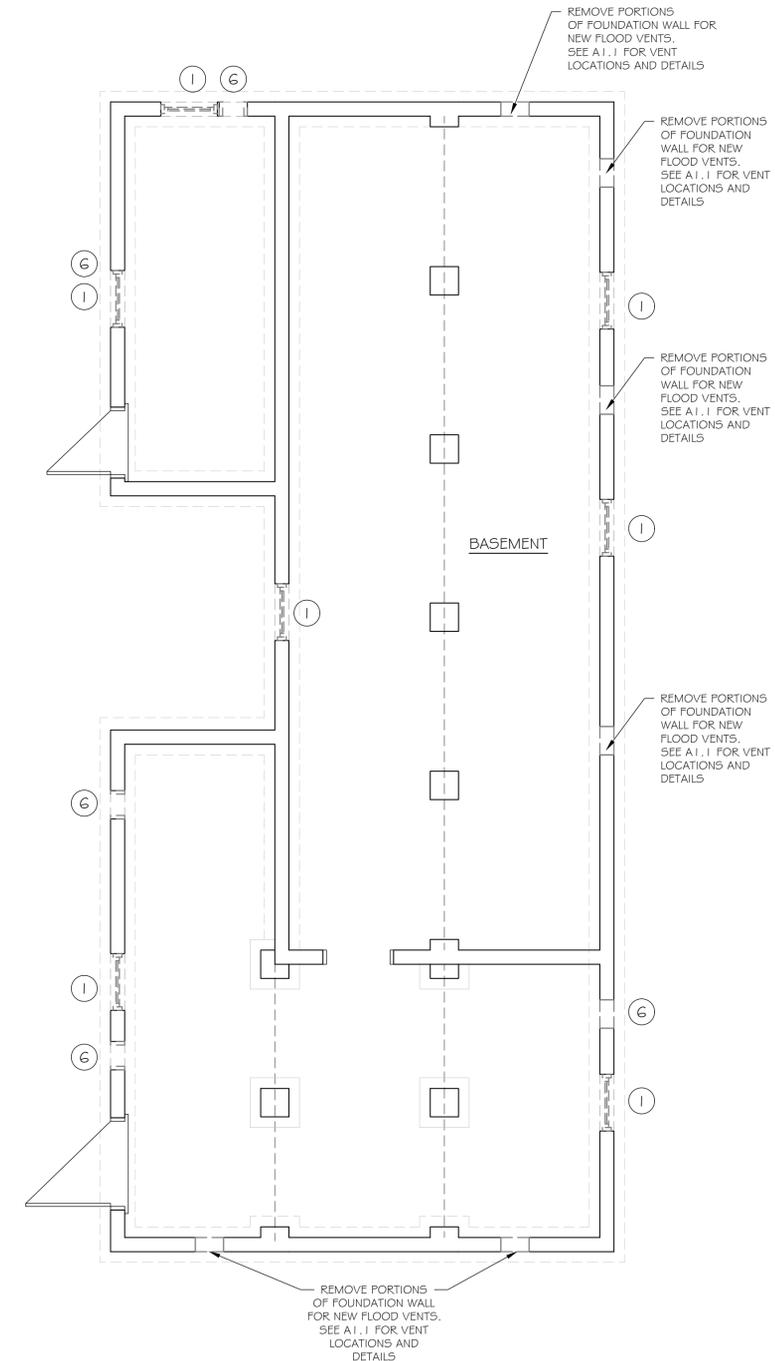


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FIRST FLOOR DEMO PLAN
 SCALE: 1/4"=1'-0"

②



BASEMENT FLOOR DEMO PLAN
 SCALE: 1/4"=1'-0"

①



REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

MILFORD, CT

104 MELBA STREET

Sheet Description:

BASEMENT AND FIRST FLOOR DEMOLITION PLANS

Issue Dates:

JUNE 26, 2015

Project #:
 QA 1346-15

Drawn By:
 MPM

Sheet #:

D1.1

DEMO NOTES

EXISTING HOUSE STRUCTURE IS TO BE REFURBISHED. DEMO AND MAKE PREPARATIONS FOR NEW WORK. G.C. TO COORDINATE WITH ARCHITECT, CONSTRUCTION ADMINISTRATOR AND OWNER IN THE FIELD PRIOR TO START OF WORK.

ABATE AND PROPERLY DISPOSE OF ALL EXISTING ABATEMENT CONTAINING ITEMS. SEE HAZMAT REPORT FOR LOCATION, PROPER REMOVAL AND DISPOSAL PROCEDURES.

SEE PLANS FOR FULL EXTENT OF WORK.

REMOVE AND DISPOSE OF ALL MATERIALS PROPERLY.

DEMO PLAN KEY

- ① REMOVE EXISTING WINDOW ASSEMBLY IN ITS ENTIRETY, INCLUDING TRIM, EXTENSION JAMBS, AND RETURNS TO EXISTING ROUGH OPENING. SEE WINDOW ELEVATION & DETAILS REMOVE EXISTING DRYWALL RETURNS AS REQUIRED TO INSTALL NEW INTERIOR WINDOW TRIM PACKAGE, SEE WINDOW ELEVATION & DETAILS
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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

MILFORD, CT

104 MELBA STREET

Sheet Description:

SECOND AND ATTIC DEMOLITION FLOOR PLANS

Issue Dates:

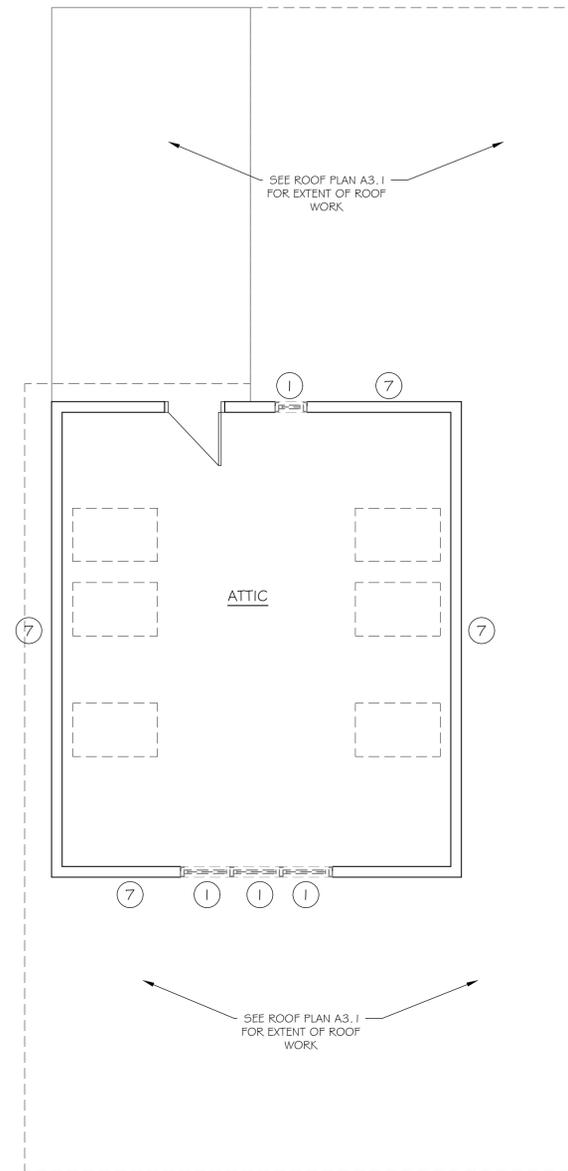
JUNE 26, 2015

Project #:
QA 1346-15

Drawn By:
RSE

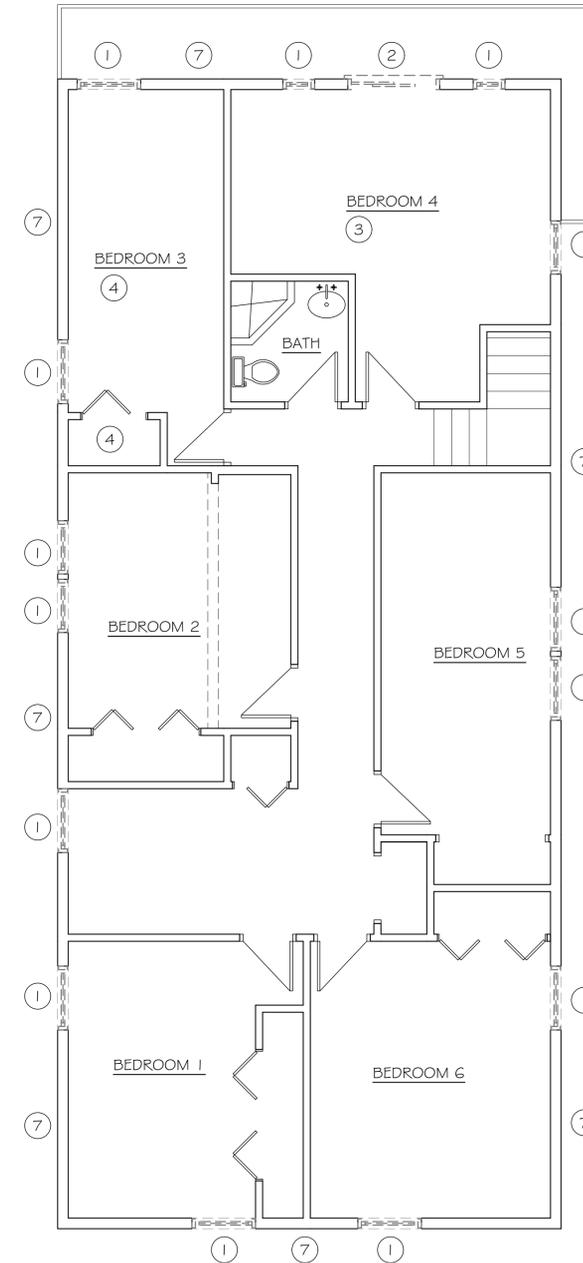
Sheet #:

D1.2



ATTIC FLOOR DEMO PLAN
 SCALE: 1/4"=1'-0"

②



SECOND FLOOR DEMO PLAN
 SCALE: 1/4"=1'-0"

①





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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

104 MELBA STREET MILFORD, CT

Sheet Description:

BASEMENT AND FIRST FLOOR PLANS

Issue Dates:

JUNE 26, 2015

Project #:
QA 1346-15

Drawn By:
MPM

Sheet #:

A1.1

PLAN NOTES

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REFER TO A3.1 FOR ROOF INFORMATION

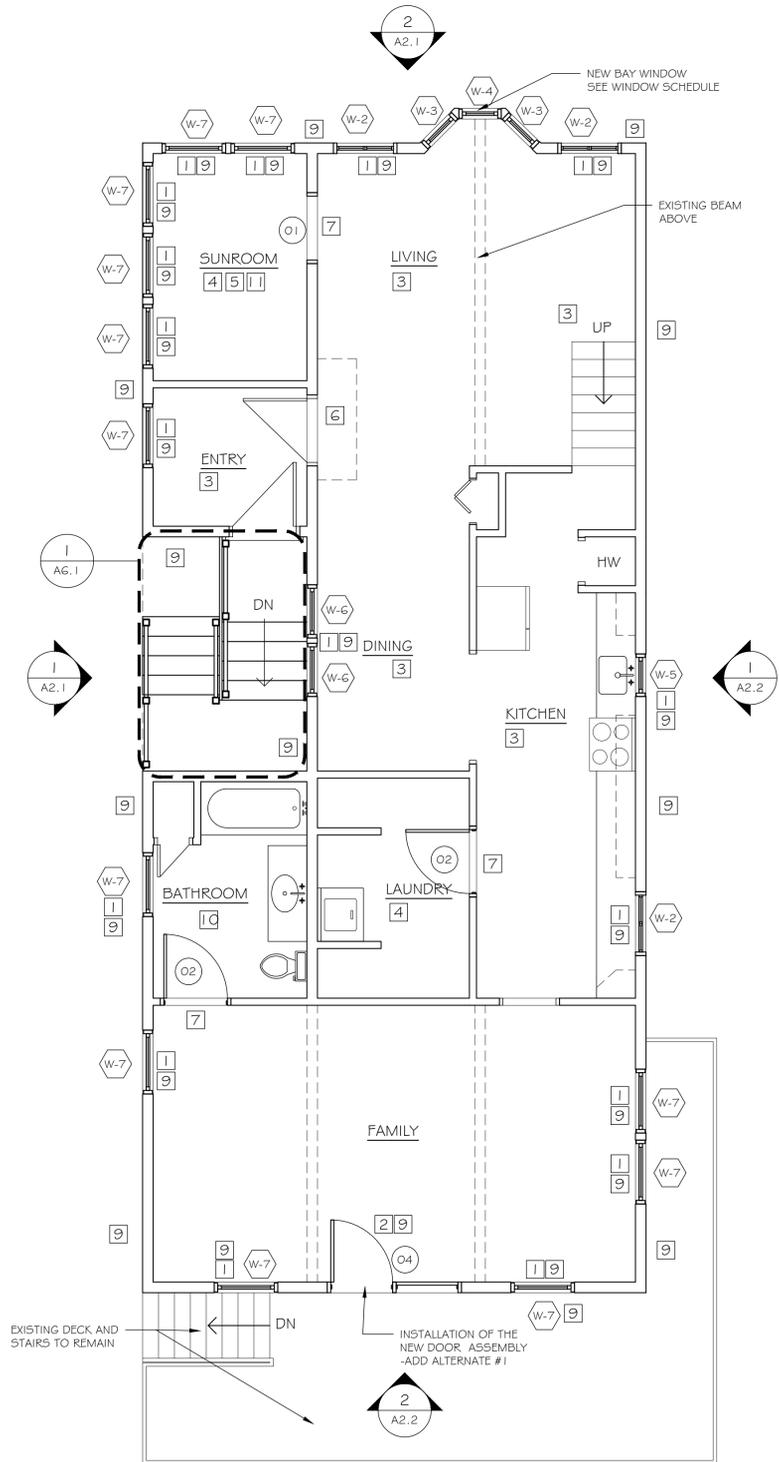
REFER TO A4.1 FOR DOOR INFORMATION.

REFER TO A4.2 FOR WINDOW INFORMATION.

PLAN KEY NOTES

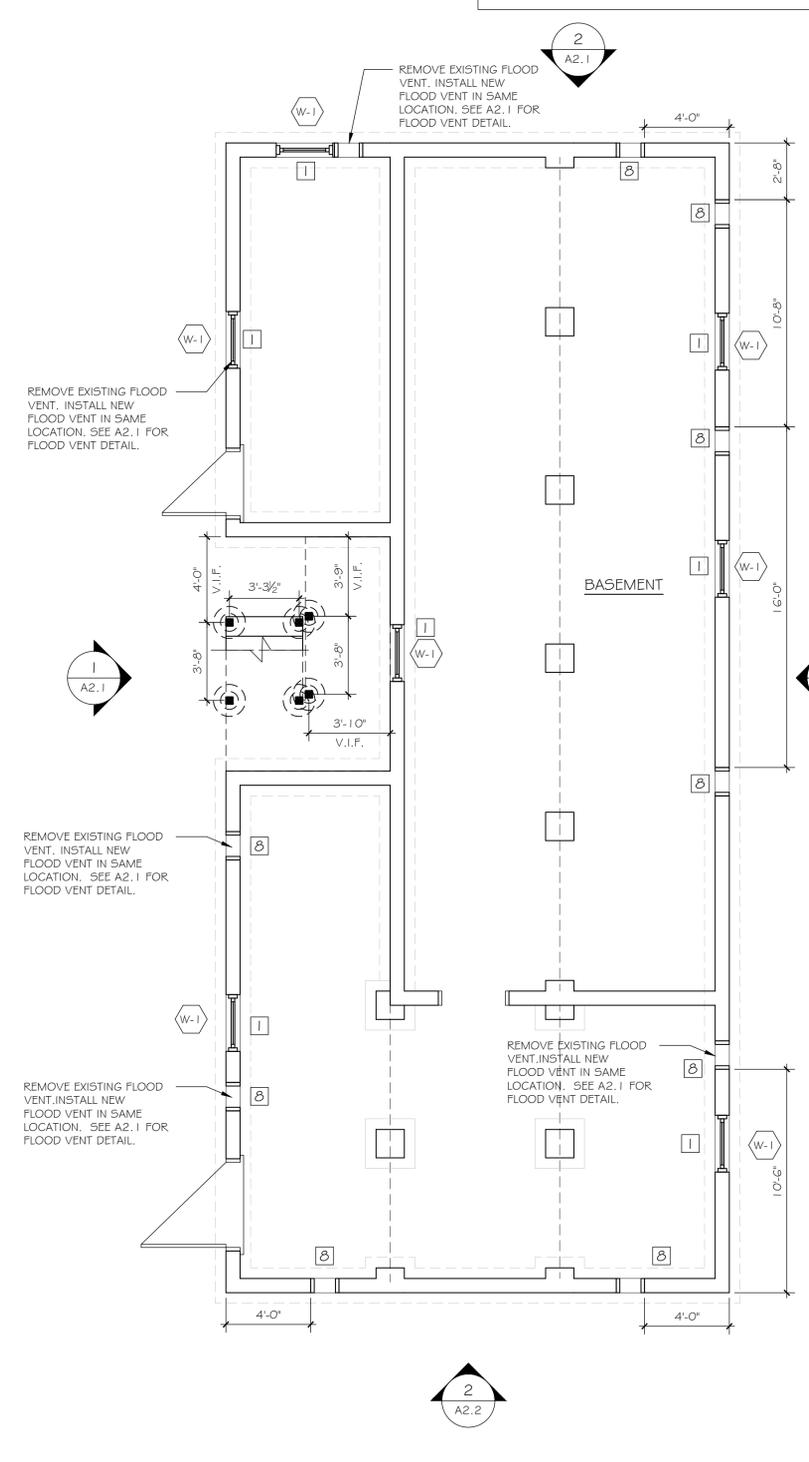
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WALLS:	MFG: BENJAMIN MOORE	CEILING:	MFG: BENJAMIN MOORE
MFG: BENJAMIN MOORE	FINISH: EGG SHELL	FINISH: FLAT	FINISH: FLAT
COLOR: TO BE CHOSEN BY HOMEOWNER			



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

2



BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"

1



PLAN NOTES

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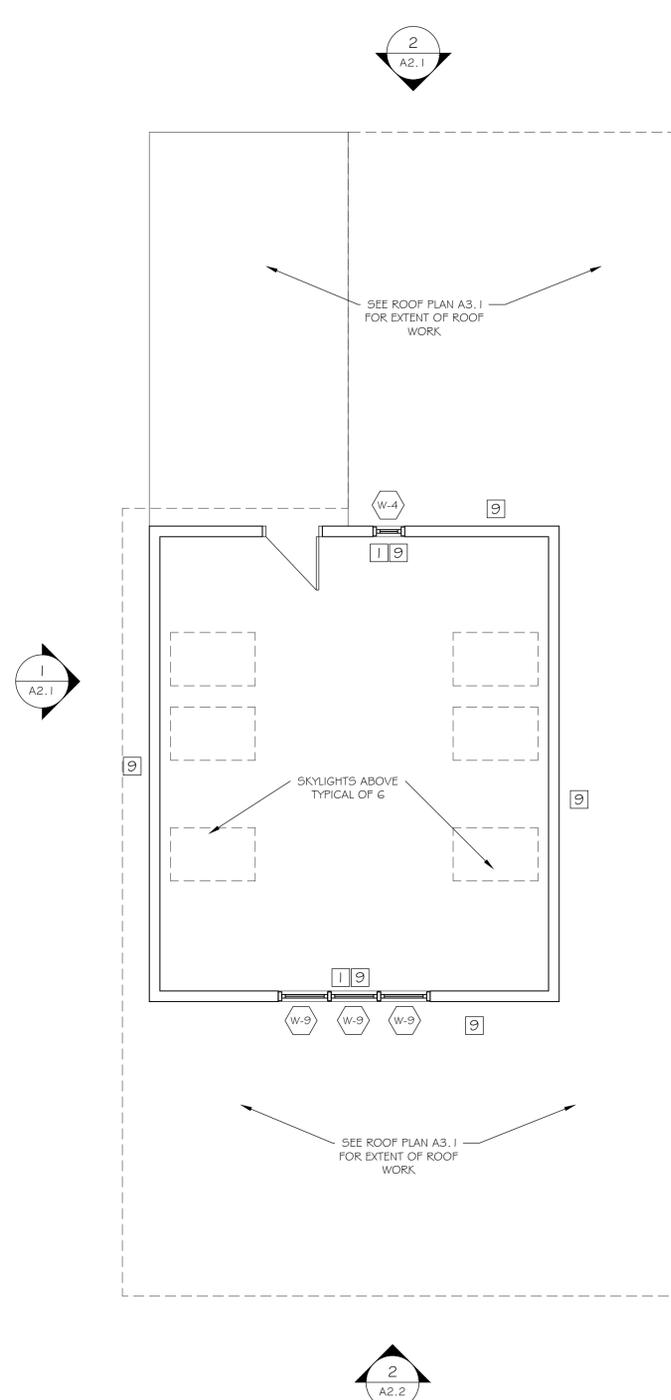
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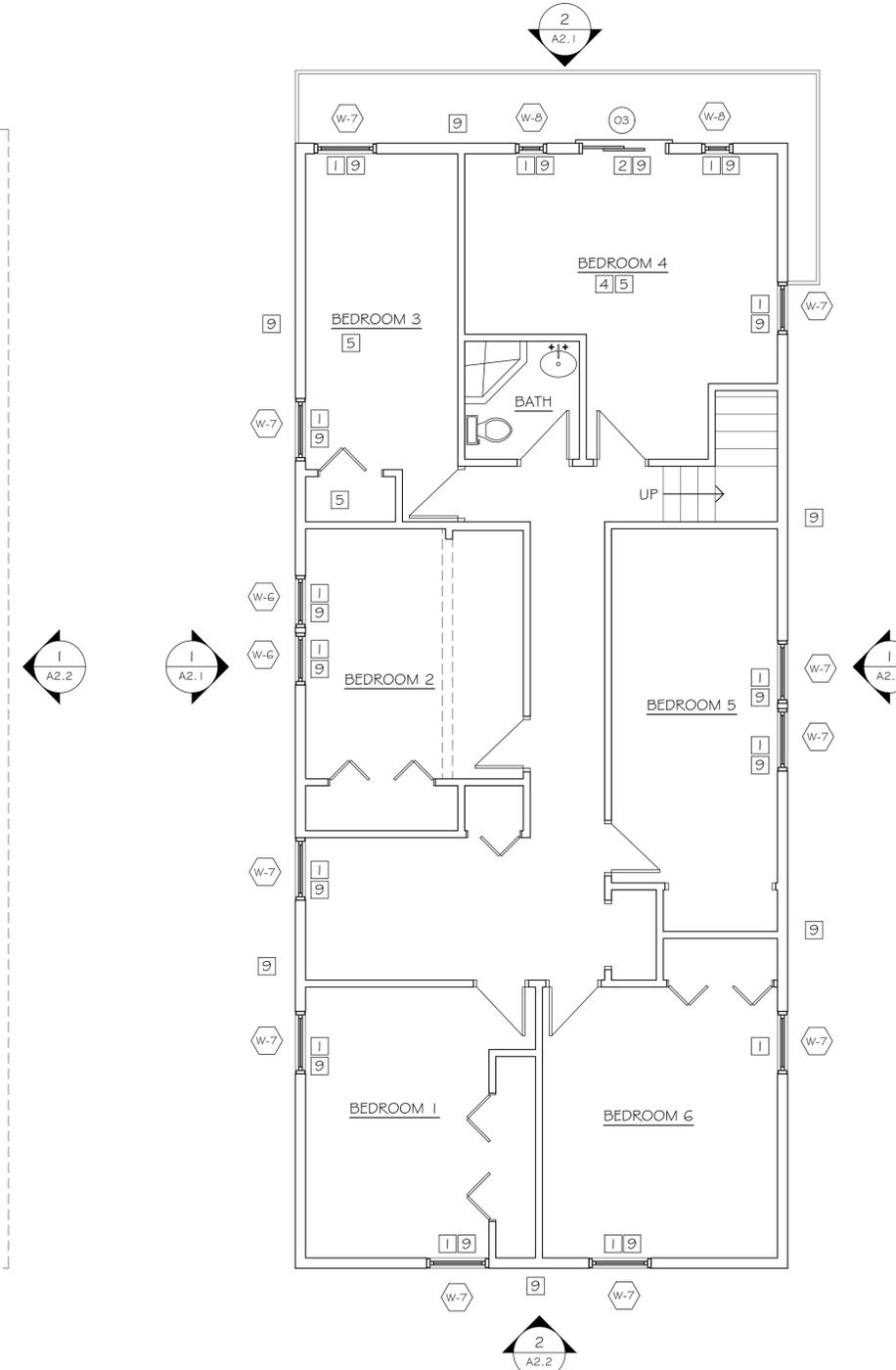
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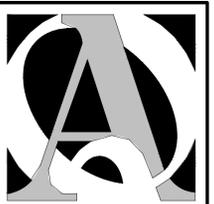
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ATTIC FLOOR PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

104 MELBA STREET
MILFORD, CT

Sheet Description:

SECOND AND ATTIC FLOOR PLANS

Issue Dates:

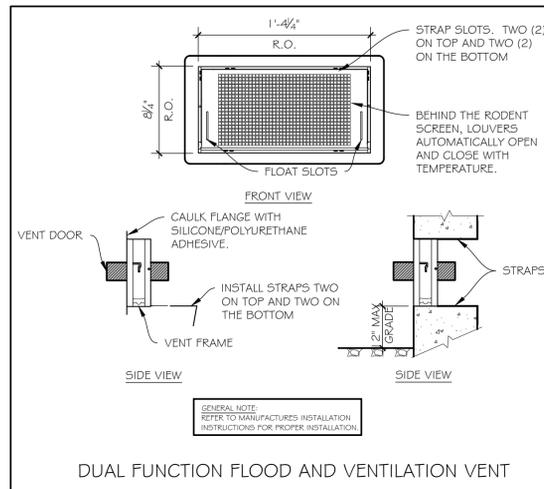
JUNE 26, 2015

Project #:
QA 1346-15

Drawn By:
MPM

Sheet #:

A1.2



FLOOD VENT

SCALE: 1 1/2"=1'-0"

3

ELEVATION NOTES

THE EXISTING HOUSE IS TO BE REFURBISHED. G.C. TO DEMO AND MAKE PREPARATIONS FOR NEW WORK. G.C. TO COORDINATE WITH ARCHITECT, CONSTRUCTION ADMINISTRATOR AND OWNER IN THE FIELD PRIOR TO START OF WORK.

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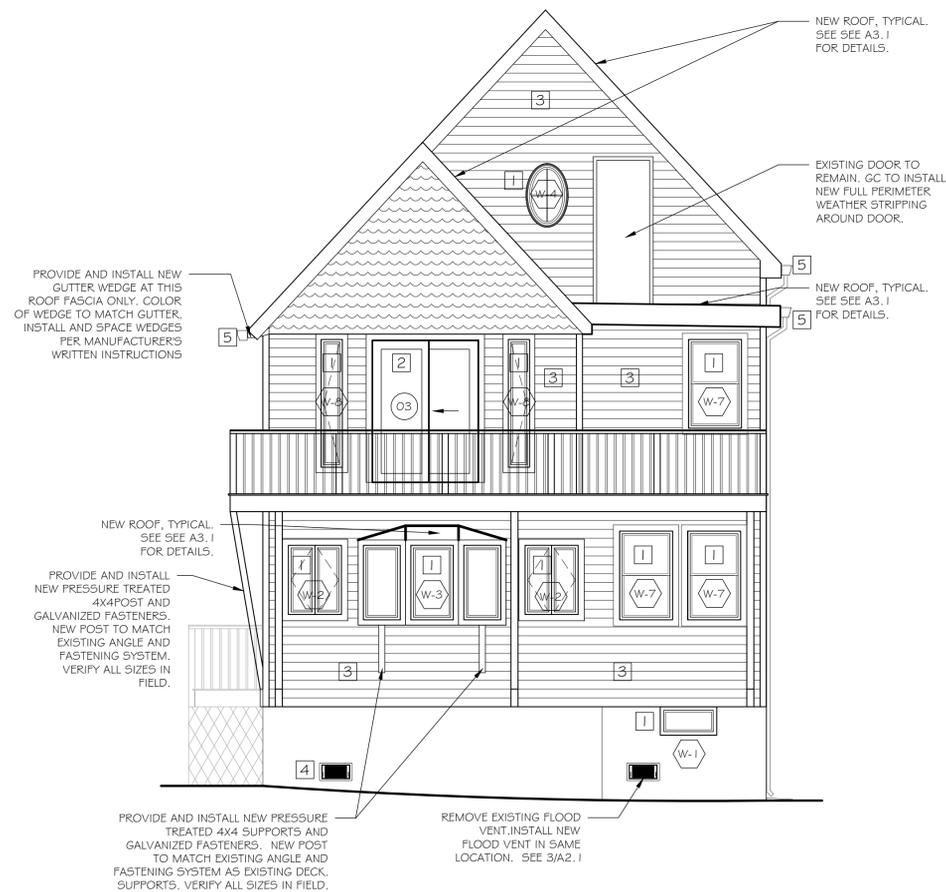
REFER TO A3.1 FOR ROOF INFORMATION.

REFER TO A4.1 FOR DOOR INFORMATION.

REFER TO A4.2 FOR WINDOW INFORMATION.

ELEVATION KEY NOTES

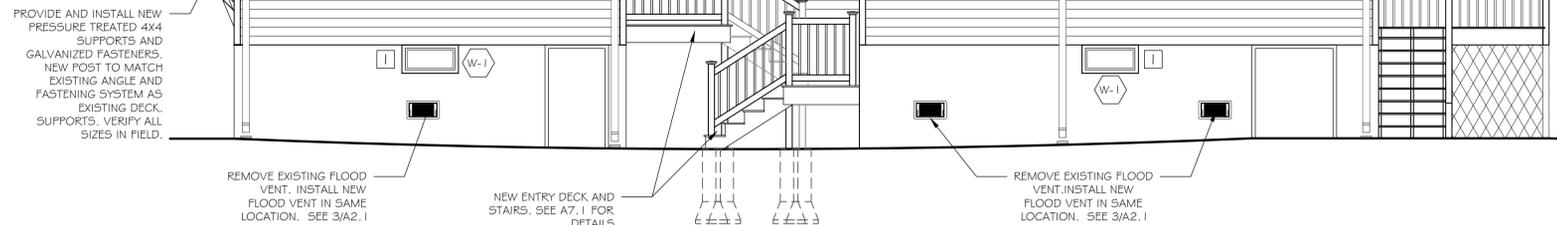
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- 2 PROVIDE AND INSTALL NEW DOOR WITH DOUBLE PANE INSULATING, AND LOW E, GLASS. PROVIDE & INSTALL NEW 3/4 X 4 PVC TRIM WITH RABBETED EDGE. PROVIDE & INSTALL NEW INTERIOR DOOR TRIM & EXTENSION JAMBS. SEE DOOR SCHEDULE & ELEVATIONS A4.1 FOR MORE INFORMATION. ROUGH OPENING SIZE IS TO BE VERIFIED IN THE FIELD, BY THE CONTRACTOR.
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- 5 PROVIDE ALL NEW ALUMINUM GUTTERS, DOWNSPOUTS & ASSOCIATED MOUNTING HARDWARE. NEW SEAMLESS GUTTERS TO BE 6" (.032) WITH 3" X 4" (.024) DOWNSPOUTS, COLOR TO BE WHITE. SEE SPECIFICATIONS FOR MORE INFORMATION, PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUT OUTLETS AT GRADE, TYPICAL, SEE DETAIL A3.1



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

2



EAST ELEVATION

SCALE: 1/4"=1'-0"

1



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ELEVATIONS

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JUNE 26, 2015

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QA 1346-15

Drawn By:

MPM

Sheet #:

A2.1

ROOF PLAN KEY

- A** ARCHITECTURAL SHINGLES ON 15# BUILDING PAPER ON EXISTING PLYWOOD ON EXISTING ROOF FRAMING, COLOR TO BE SELECTED BY OWNER
- EXTENT OF EXISTING PLYWOOD ROOF SHEATHING & ADHERED ICE & WATER SHIELD TO BE REMOVED. PROVIDE & INSTALL NEW PLYWOOD SHEATHING TO MATCH EXISTING, TYPICAL 4'-0" UP ROOF FROM EAVE EDGE AND 1' OR 3'-0" OUT FROM A SIDEWALL ROOF INTERSECTION
- ICE & WATER SHIELD, SEE PLANS FOR EXTENTS, SEE ALSO ROOF DETAILS

GENERAL ROOFING NOTES:

REMOVE ALL EXISTING ROOF SHINGLES, FLASHING & UNDERLAYMENTS DOWN TO EXISTING PLYWOOD SHEATHING, PREPARE EXISTING ROOF SHEATHING TO RECEIVE NEW WORK.

REMOVE EXISTING PLYWOOD SHEATHING WITH ADHERED ICE & WATER SHIELD WHERE INDICATED ON PLANS, PROVIDE & INSTALL NEW PLYWOOD SHEATHING TO MATCH EXISTING ADJACENT.

PATCH & REPAIR PLYWOOD ROOF SHEATHING AS REQUIRED. ALL ROTTEN, MOLDED, OR WARPED ROOF SHEATHING ARE TO BE REPLACED. THE CONDITION OF THE EXISTING ROOF SHEATHING IS TO BE VERIFIED IN THE FIELD. PLYWOOD TYPE AND THICKNESS TO MATCH EXISTING, SEE SPECS FOR REQUIRED UNIT PRICING OF ROOF SHEATHING.

ALL EXISTING PLUMBING VENTS ARE TO REMAIN, PROVIDE NEW ROOF VENT PIPE FLASHING, TYPICAL AT EACH VENT, SEE PLANS FOR LOCATIONS & DETAILS FOR MORE INFORMATION

REMOVE ALL EXISTING BATHROOM & KITCHEN FAN ROOF JACKS (VENT CAPS), DISCONNECT EXISTING DUCTWORK, PREPARE ROOF SURFACE TO RECEIVE NEW. PROVIDE & INSTALL NEW BATHROOM & KITCHEN FAN ROOF JACKS (VENT CAPS), RECONNECT EXISTING DUCTWORK TO ROOF JACK (VENT CAP). NEW ROOF JACKS (VENT CAPS) ARE TO MATCH EXISTING IN SIZE & APPEARANCE, FIELD VERIFY

PROVIDE NEW RAKE EDGE, DRIP EDGE AND ROOFING ASSEMBLY CONSISTING OF 15# FELT PAPER, ICE AND WATER SHIELD, ARCHITECTURAL SHINGLES. APPLY NEW ROLL ROOFING ASSEMBLY. SEE SPEC.

PROVIDE NEW RIDGE VENTING, SEE PLANS & DETAILS FOR FURTHER INFORMATION & EXTENTS OF RIDGE VENTING

PATCH & REPAIR ALL GRASS & BITUMINOUS AREAS DISTURBED BY THE ROOF. GRADE TO MATCH EXISTING ADJACENT AREAS

REMOVE & DISPOSE OF ALL VEGETATION GROWING ON ALL EXISTING GUTTERS & DOWNSPOUTS

PROVIDE ALL NEW ALUMINUM GUTTERS, DOWNSPOUTS & ASSOCIATED MOUNTING HARDWARE. NEW SEAMLESS GUTTERS TO BE 6" (.032) WITH 3" x 4" (.024) DOWNSPOUTS, COLOR TO BE WHITE. SEE SPECIFICATIONS FOR MORE INFORMATION, PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUT OUTLETS AT GRADE, TYPICAL, SEE DETAIL A3.1

EXISTING SKYLIGHTS ARE TO REMAIN. CONTRACTOR TO PROPERLY SEAL, FLASH, AND SHINGLE AROUND EXISTING SKYLIGHTS. EXISTING CONDITIONS, ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

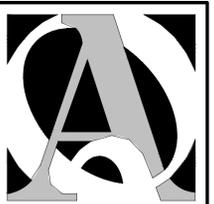
SEE PLANS & DETAILS FOR ICE & WATER SHIELD LOCATIONS & EXTENTS

ALL OVERALL DIMENSIONS ARE TO BE VERIFIED IN FIELD PRIOR TO BIDDING

ALL ROOF PITCHES ARE TO BE VERIFIED IN FIELD PRIOR TO BIDDING

ASPHALT SHINGLE ROOFING FOR PITCHES 4:12 OR LESS REQUIRE A DOUBLE LAYER OF FELT UNDERLAYMENT IN ORDER TO MAINTAIN THE WARRANTY

PROVIDE FULL ICE & WATER SHIELD ON SLOPES LESS THAN 3:12



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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE
APPLICANT #1555

104 MELBA STREET
MILFORD, CT

Sheet Description:

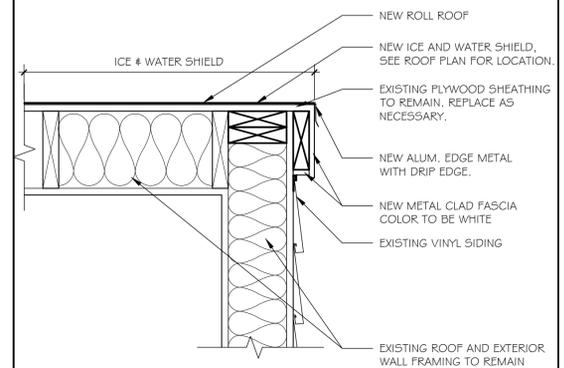
ROOF PLAN & DETAILS

Issue Dates:

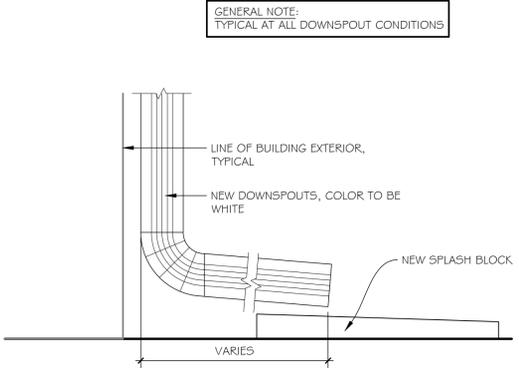
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Project #: QA 1346-15 **Drawn By:** MPM

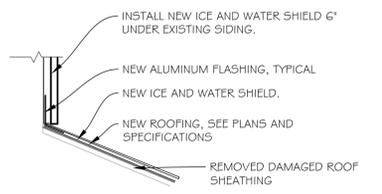
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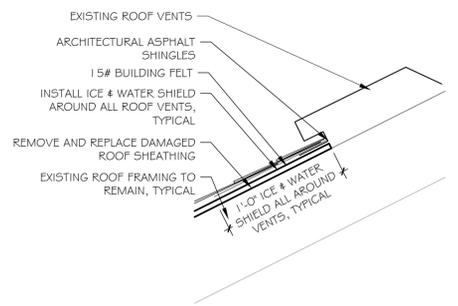
5 EAVE DETAIL AT FLAT ROOM 1/2" = 1'-0"



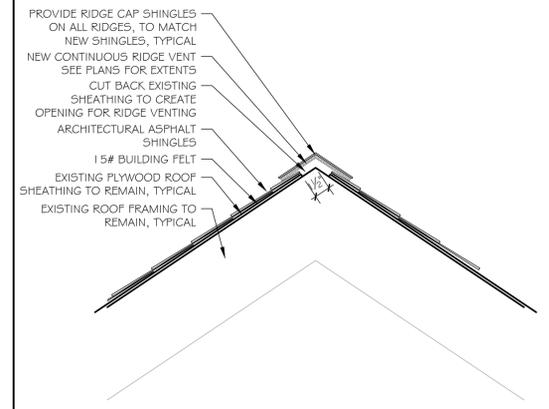
8 TYPICAL DOWNSPOUT & SPLASH PAD 1/2" = 1'-0"



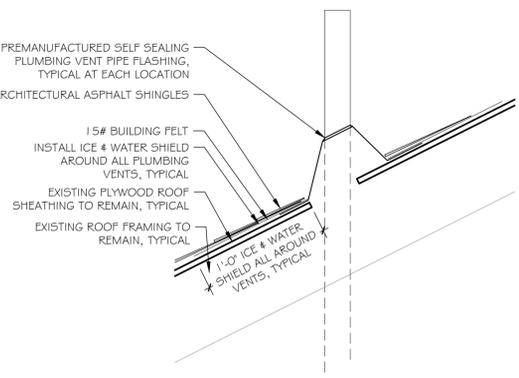
3 TYPICAL SHED ROOF 1/2" = 1'-0"



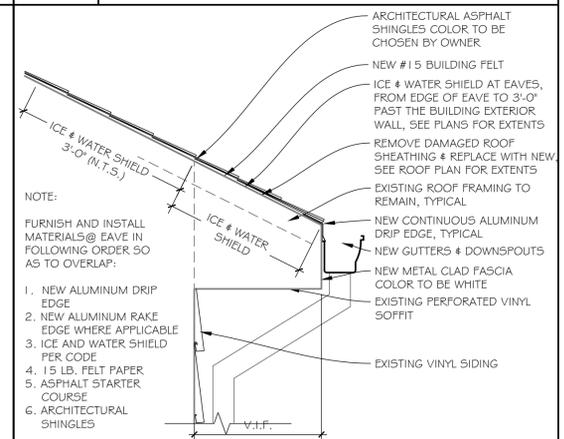
7 KITCHEN & BATHROOM ROOF VENT DETAIL



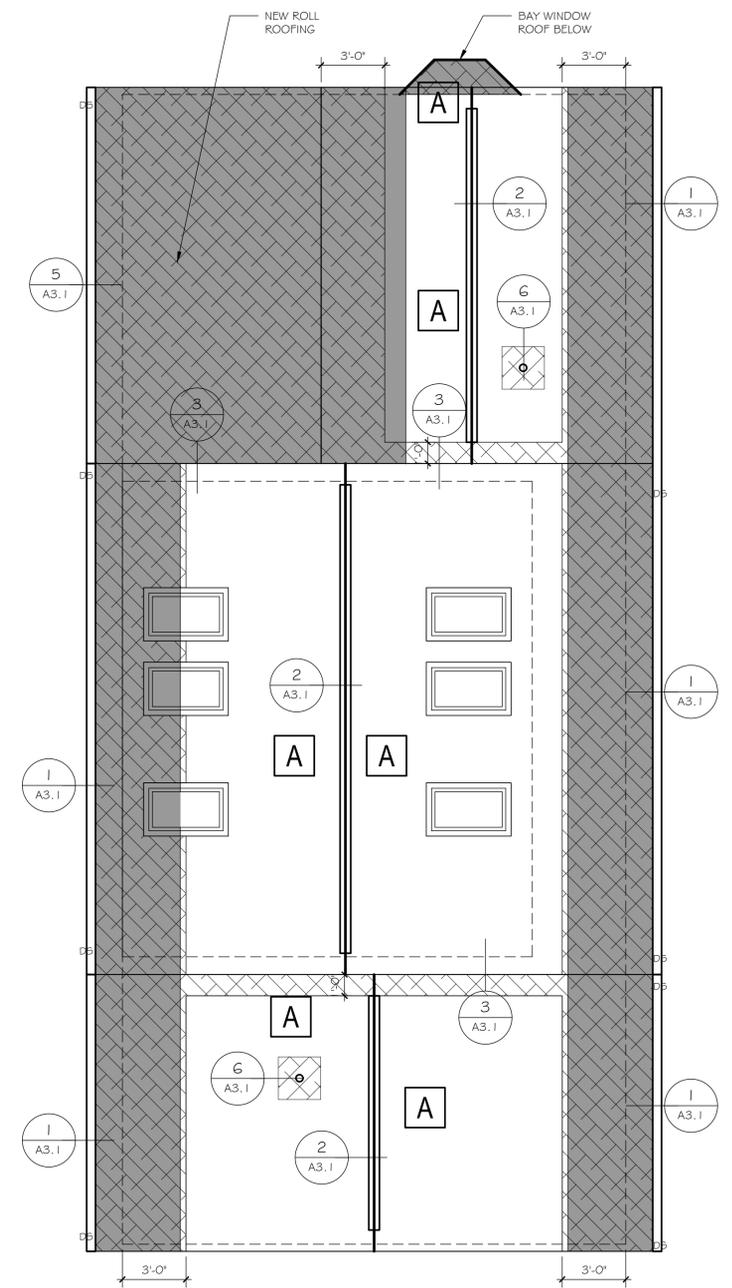
2 TYPICAL RIDGE VENT DETAIL 1/2" = 1'-0"



6 TYPICAL PLUMBING VENT DETAIL 1/2" = 1'-0"



1 TYPICAL EAVE DETAIL 1/2" = 1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

1



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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

MILFORD, CT

104 MELBA STREET

Sheet Description:

DOOR SCHEDULE & ELEVATIONS

Issue Dates:

JUNE 26, 2015

Project #:
QA 1346-15

Drawn By:
MPM

Sheet #:

A4.1

FBG-X	FIBERGLASS (DOOR MATERIAL)
WD-X	WOOD (DOOR MATERIAL)
PHF-X	PRE-HUNG WOOD (FRAME MATERIAL)
FBGF-X	FIBERGLASS (FRAME MATERIAL)
WDF-X	WOOD (FRAME MATERIAL)

GENERAL NOTES:

GENERAL CONTRACTOR & DOOR MANUFACTURER'S REPRESENTATIVE TO FIELD VERIFY ALL CONDITIONS & SIZES PRIOR TO BIDDING AND CONSTRUCTION.

DOOR SIZES ARE APPOINTED FOR PURPOSES OF BIDDING AND ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS PRIOR TO BIDDING, ORDERING & CONSTRUCTION.

GENERAL CONTRACTOR TO PATCH, REPAIR & REPAINT ADJACENT FINISHES DISTURBED BY DOOR INSTALLATION AS REQUIRED & REPAIR MASONRY AS REQUIRED TO MATCH EXISTING ADJACENT FINISH.

GENERAL CONTRACTOR AND DOOR MANUFACTURER TO FIELD VERIFY AND DETERMINE WHICH DOOR UNITS WILL REQUIRE TEMPERED GLAZING AND PROVIDE TEMPERED GLAZING WHERE REQUIRED BY THE BUILDING CODE.

FACTORY PREFINISHED THERMA-TRU SMOOTH-STAR SLIDING PATIO DOOR OR APPROVED EQUAL, COLOR TO BE WHITE. SLIDING DOORS SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE MANUFACTURER'S LOCKSET.

SLIDING DOORS SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

PATIO DOOR SHALL BE PREHUNG ON ROT RESISTANT FRAMES WITH HINGES (MATCH EXISTING), MILL COMPOSITE ADJUSTABLE SILL, SWEEPS & FULL WEATHER STRIPPING

ALL EXTERIOR DOOR GLAZING SHALL BE FULLY TEMPERED, LOW-E COATING, ARGON FILLED GLASS.

DOORS TO HAVE 3/4" x 4" FLAT PVC TRIM WITH INTEGRAL J CHANNEL, COLOR TO BE WHITE, FASTEN WITH CORTEX CONCEALED FASTENING SYSTEM

REMOVE EXISTING DOORS AS REQUIRED, PREPARE OPENING TO RECEIVE NEW REPLACEMENT DOOR UNIT, SEE DETAILS.

PROVIDE ALL NECESSARY HARDWARE FOR REINSTALLATION. ALL HARDWARE TO MATCH EXISTING, FIELD VERIFY PRIOR TO BIDDING, ORDERING AND INSTALLATION.

PROVIDE (2) KEYS PER DOOR. ALL CORES TO MATCH EXISTING.

INTERIOR TRIM IS TO BE PRE-PRIMED & STAINED OR PAINTED, COLOR TO MATCH EXISTING INTERIOR TRIM. GENERAL CONTRACTOR TO FIELD VERIFY ALL CONDITIONS.

ALL INTERIOR DOOR & FRAMES TO BE PRE-HUNG.

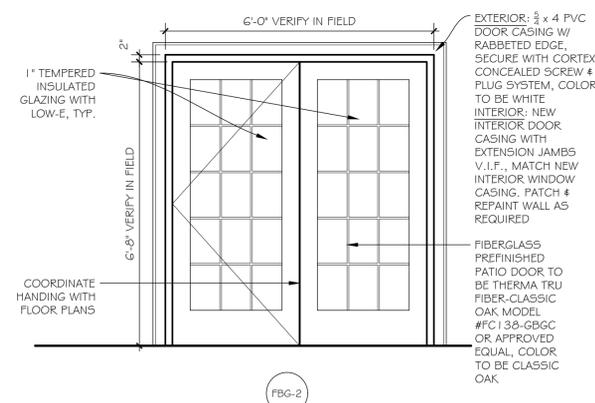
ALL INTERIOR DOOR COLOR AND HARDWARE TO MATCH EXISTING.

DOOR ID	ROOM NAME	DOOR										FRAME		FIRE RATING		HARDWARE						REMARKS			
		DOOR MATERIAL-TYPE (SEE DOOR ELEVATIONS)	FRAME MATERIAL-TYPE (SEE FRAME ELEVATION)	DOOR SIZE (WxH)	HINGED	BH-FOLD	SLIDING	SINGLE LEAF DOOR	DOUBLE LEAF DOOR	HEAD DETAIL	JAMB DETAIL	SADDLE DETAIL	SIXTY-MINUTES	FORTY FIVE MINUTES	TWENTY MINUTES	NOT REQUIRED	KNOB HANDLES	PULLS	FULL PERIMETER WEATHERSTRIPPING	STRIKE	SILENCERS		BUTTS	FLOOR STOP	WALL STOP
01	SUNROOM	WD-1	PHF-1	3'-0" x 6'-0"						H-1	J-1														CASE OPENING. TRIM TO MATCH EXISTING INTERIOR DOOR TRIM.
02	INTERIOR DOOR	WD-2	PHF-1	3'-0" x 6'-0"						H-1	J-1	S-1													MATCH EXISTING INTERIOR DOOR HARDWARE. PROVIDE MANUFACTURER'S LOCKSET. SEE NOTES.
03	SLIDING DOOR	FBG-1	FBGF-1	3'-0" x 6'-0"						H-2	J-2	S-2													PROVIDE MANUFACTURER'S LOCKSET. SEE NOTES.
ADD ALTERNATE #1																									
04	PATIO DOOR	FBG-2	ROF-1	6'-0" x 6'-0"						H-3	J-3	S-3													PROVIDE MANUFACTURER'S LOCKSET. SEE NOTES.

DOOR SCHEDULE AND NOTES

SCALE: N.T.S.

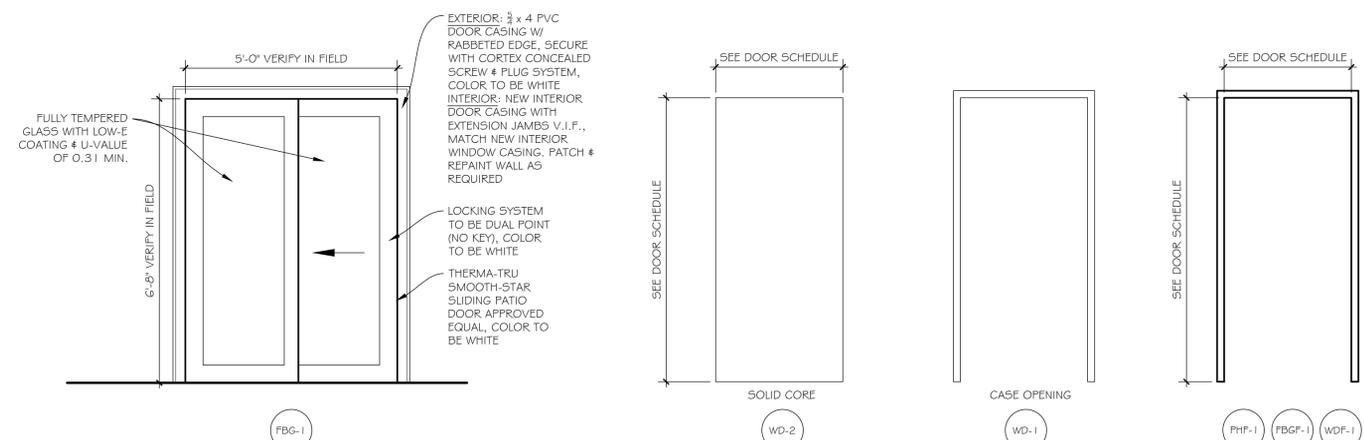
2



ADD ALTERNATE #1 DOOR

SCALE: 1/2" = 1'-0"

3



DOOR & FRAME TYPES/ELEVATIONS

SCALE: 1/2" = 1'-0"

1



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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

MILFORD, CT

104 MELBA STREET

Sheet Description:

DOOR DETAILS

Issue Dates:

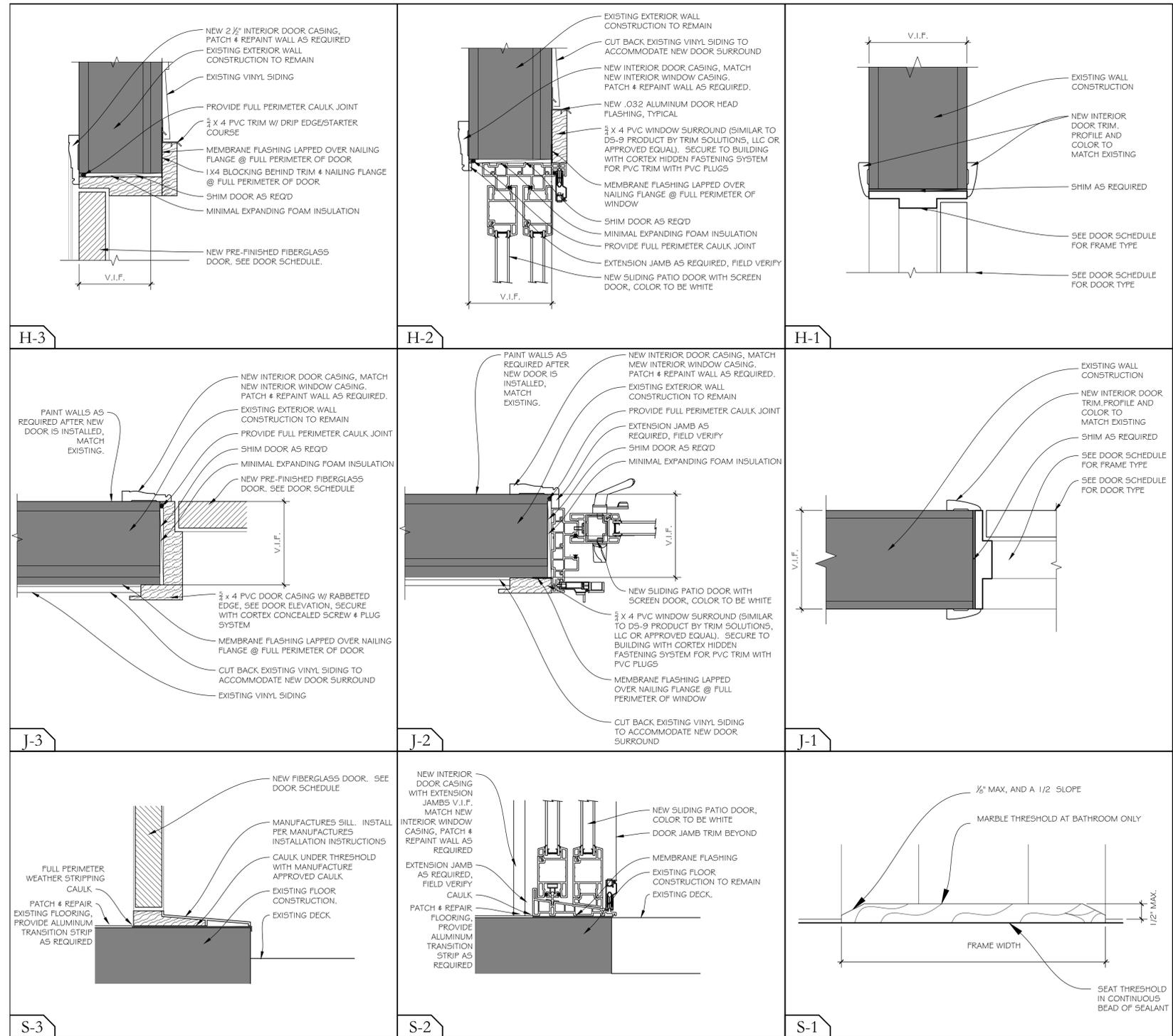
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A4.2



DOOR DETAILS

SCALE: 3" = 1'-0"



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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

MILFORD, CT

104 MELBA STREET

Sheet Description:

WINDOW SCHEDULE, & ELEVATIONS

Issue Dates:

JUNE 26, 2015

Project #:
QA 1346-15

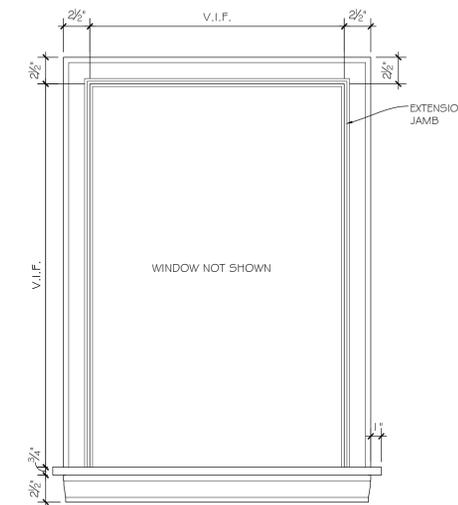
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A5.1

GENERAL NOTES:

- GENERAL CONTRACTOR IS TO PROVIDE A CONSTRUCTION SCHEDULE & COORDINATE WITH THE OWNER, ARCHITECT, AND CONSTRUCTION ADMINISTRATOR.
- WINDOW(S) SHALL BE REMOVED & NEW UNITS INSTALLED IN THE SAME DAY.
- CONTRACTOR TO EXECUTE COMPLETE WINDOW MOCK-UP FOR FORMAL REVIEW BY THE OWNER, ARCHITECT, AND CONSTRUCTION ADMINISTRATOR.
- WINDOW SIZES ARE APPOINTED FOR PURPOSES OF BIDDING AND ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ALL OPENINGS PRIOR TO BIDDING, ORDERING & INSTALLATION.
- GENERAL CONTRACTOR & WINDOW MANUFACTURER'S REPRESENTATIVE TO FIELD VERIFY ALL CONDITIONS & SIZES PRIOR TO BIDDING, ORDERING, AND INSTALLATION.
- FURNISH AND INSTALL NEW WINDOW DOUBLE GLAZED WITH LOW-E & ARGON WITH A U-FACTOR OF LESS THAN OR EQUAL TO U-.30 TO MEET ENERGY STAR REQUIREMENTS). WINDOWS ARE TO BE (NOTE: AT LEAST ONE WINDOW IN EACH BEDROOM, SHALL MEET THE MINIMUM NET CLEAR OPENING AREA OF 5.7 SF, REQUIRED BY CODE.) SEE WINDOW SCHEDULE.
- SEE SPECIFICATIONS FOR WINDOW ASSEMBLIES REQUIRING TEMPERED GLAZING PER THE BUILDING CODE
- REMOVE EXISTING WINDOW UNIT AS REQUIRED, PREPARE OPENING TO RECEIVE NEW WINDOW UNIT, SEE DETAILS
- GENERAL CONTRACTOR TO PATCH, REPAIR & REPAINT ADJACENT FINISHES DISTURBED BY WINDOW INSTALLATION AS REQUIRED & REPAIR DRYWALL OR PLASTER AS REQUIRED TO MATCH EXISTING ADJACENT FINISH
- REMOVE AND REINSTALL EXISTING INTERIOR WINDOW ACCESSORIES TO INCLUDE BUT ARE NOT LIMITED TO CURTAIN RODS, CURTAIN HOLD BACKS, ETC... PROVIDE ALL NECESSARY HARDWARE FOR REINSTALLATION, FIELD VERIFY PRIOR TO BIDDING
- SEE SPECIFICATIONS FOR NEW VINYL WINDOWS, COLOR TO BE WHITE.
- INTERIOR TRIM IS TO BE PRE-MANUFACTURED TRIM WITH EXTENSION JAMBS AS ONE PIECE FROM CLEAR PINE, PRE-PRIMED ON ALL SIDES & PAINTED, COLOR TO BE WHITE (SEMI GLOSS) TOUCH UP IN FIELD AFTER INSTALLATION
- WINDOWS ARE TO HAVE HALF SCREENS (FIBERGLASS)
- WINDOW HARDWARE TO BE WHITE
- GC TO PROVIDE AND INSTALL FULL PERIMETER CAULK AROUND WINDOW UNIT AND MINIMAL EXPANDING FOAM INSULATION.



INTERIOR WINDOW CASING ELEVATION

SCALE: 1/2" = 1'-0"

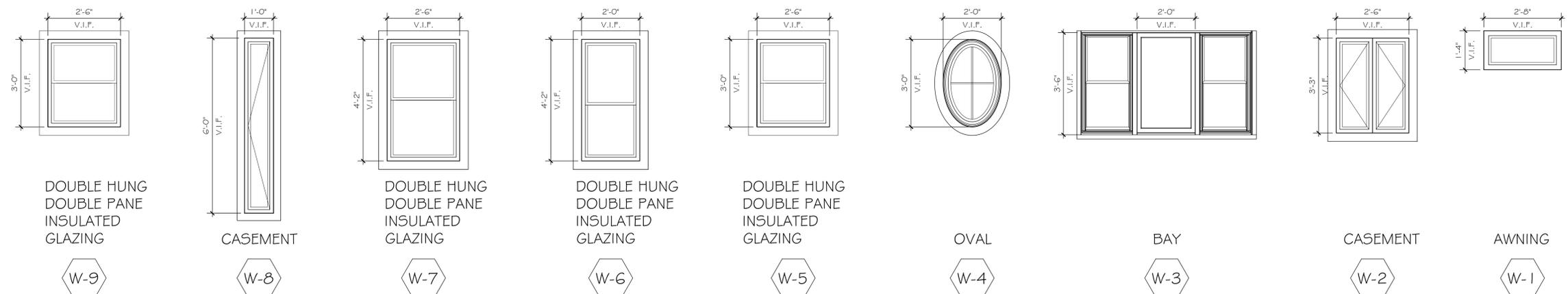
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WINDOW SCHEDULE AND NOTES

SCALE: N.T.S.

2

WINDOW ID	STATIONARY	OPERABLE	WINDOW SIZE V.I.F. (WxH)	TYPE	DETAIL NUMBER			REMARKS
					HEAD DETAIL	SILL DETAIL	JAMB DETAIL	
W-1		●	2'-8" X 1'-4"	AWNING	H-5	S-5	J-5	AWNING WINDOWS TO BE TEMPERED GLAZING
W-2		●	2'-6" X 3'-3"	CASEMENT	H-2	S-2	J-2	
W-3	●		1'-9" X 3'-6"	BAY WINDOW	H-4	S-4	J-4	CENTERED WINDOW ONLY TO BE STATIONARY
W-4		●	2'-0" X 3'-0"	OVAL	H-3	S-3	J-3	OVAL WINDOW TO BE TEMPERED GLAZING
W-5		●	2'-6" X 3'-0"	DOUBLE HUNG	H-1	S-1	J-1	
W-6		●	2'-0" X 4'-2"	DOUBLE HUNG	H-1	S-1	J-1	
W-7		●	2'-6" X 4'-2"	DOUBLE HUNG	H-1	S-1	J-1	
W-8		●	1'-0" X 6'-0"	CASEMENT	H-2	S-2	J-2	
W-9		●	2'-6" X 3'-0"	DOUBLE HUNG	H-1	S-1	J-1	(3) DOUBLE HUNG WINDOW UNITS WITH COMMON JAMB



WINDOW TYPES/ELEVATIONS

SCALE: 1/2" = 1'-0"

1



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REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

MILFORD, CT

104 MELBA STREET

Sheet Description:

WINDOW DETAILS

Issue Dates:

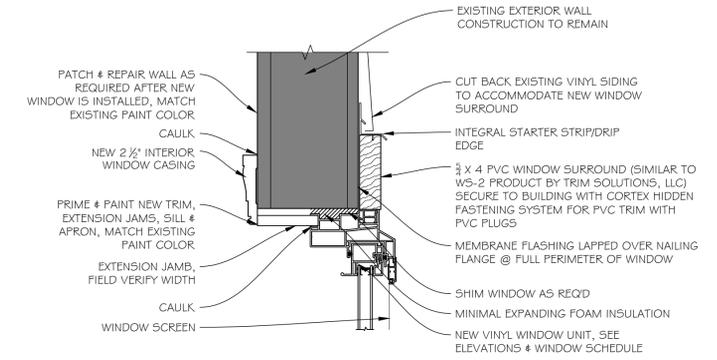
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QA 1346-15

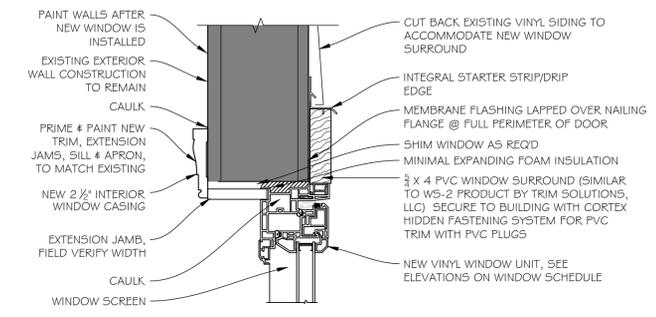
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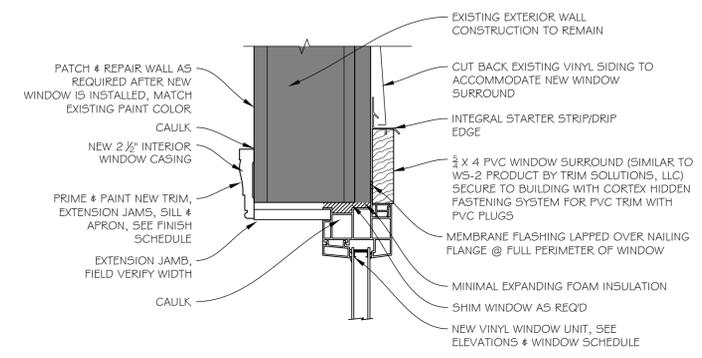
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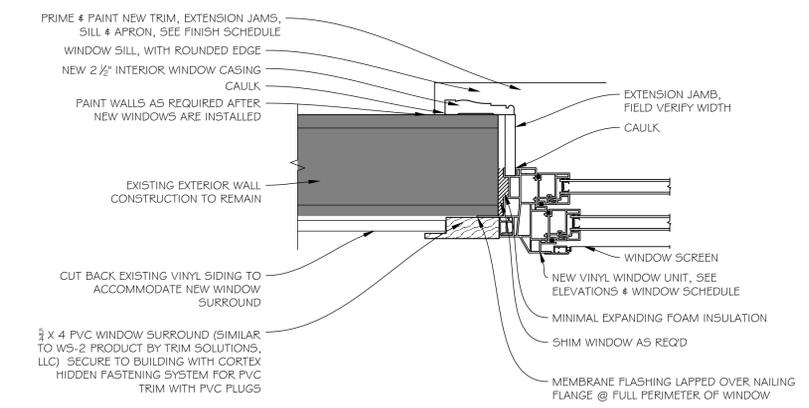
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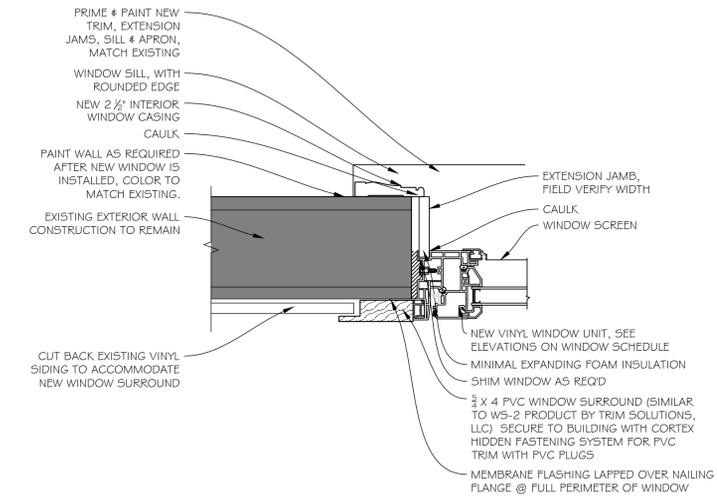
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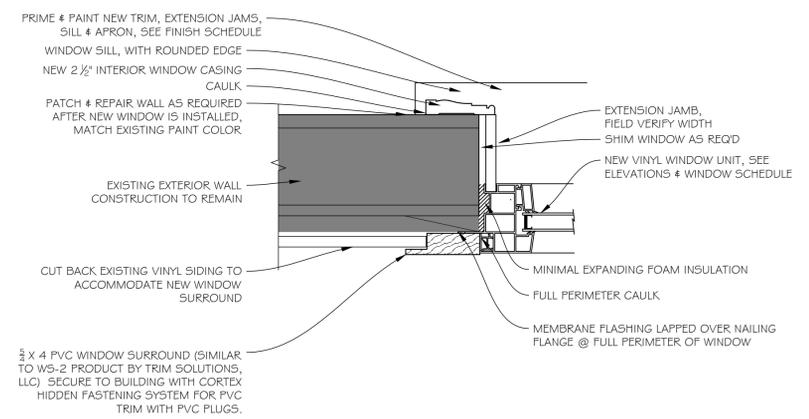
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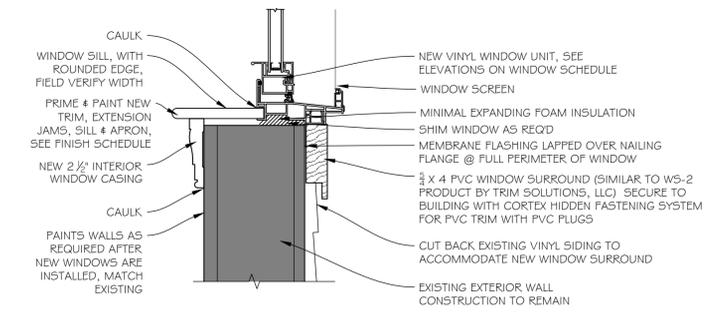
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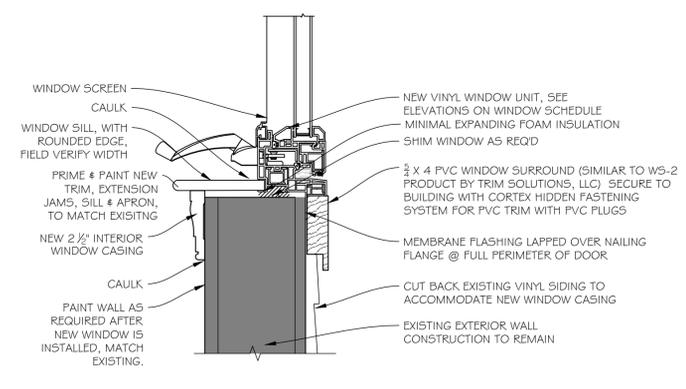
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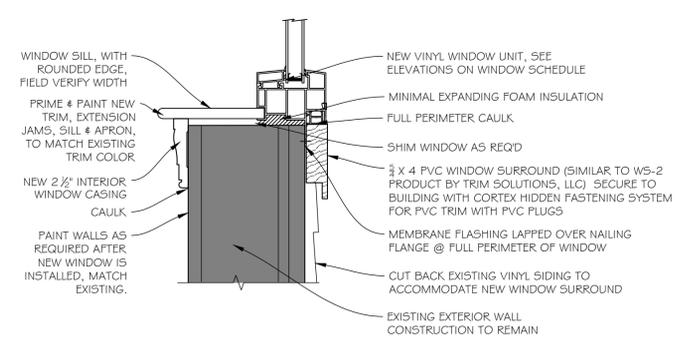
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S-1



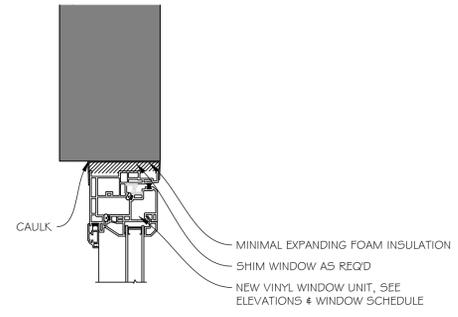
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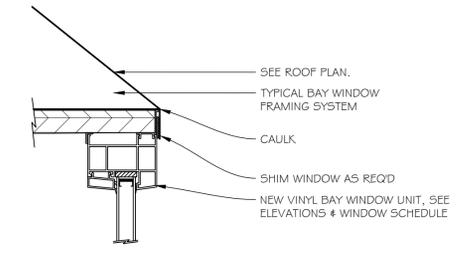
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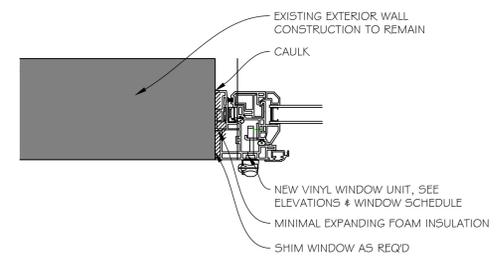
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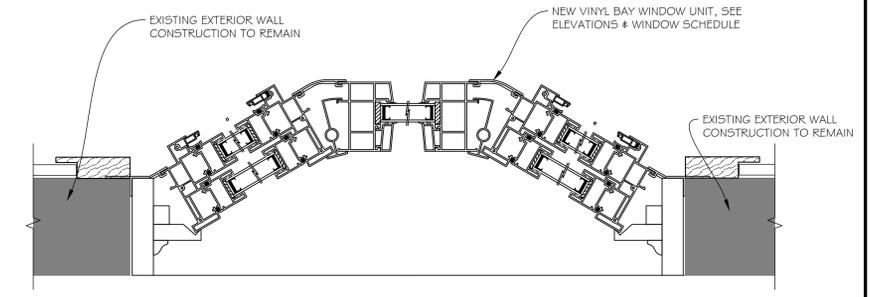
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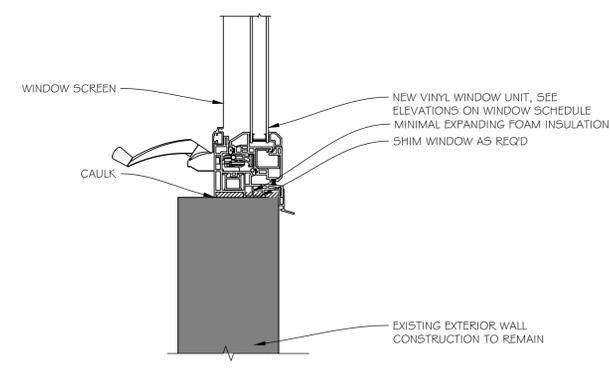
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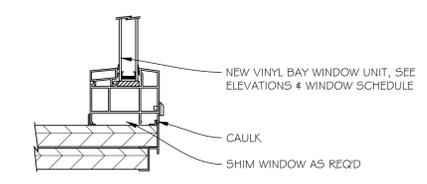
J-5



J-4



S-5



S-4

REHABILITATION/RECONSTRUCTION WORK FOR:

MARGARET COYLE

APPLICANT #1555

MILFORD, CT

104 MELBA STREET

Sheet Description:

WINDOW DETAILS

Issue Dates:

JUNE 26, 2015

Project #:

QA 1346-15

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MPM

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A5.3



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REHABILITATION/RECONSTRUCTION WORK FOR:
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 APPLICANT #1555
 104 MELBA STREET
 MILFORD, CT

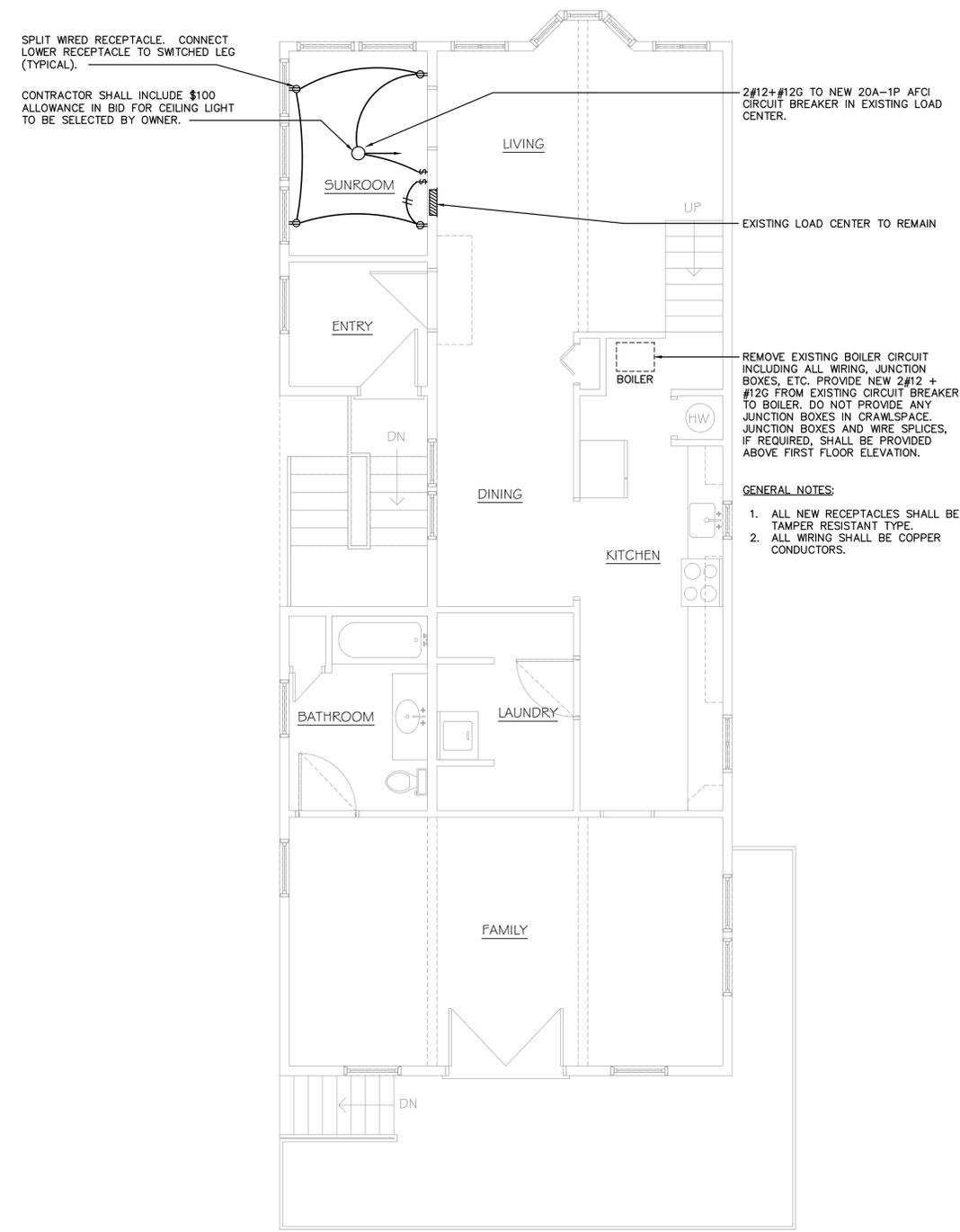
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FIRST FLOOR ELECTRICAL PLAN

Issue Dates:
 JUNE 26, 2015

Project #: QA 1346-15
 Drawn By: KAH

Sheet #:

E1.1



FIRST FLOOR ELECTRICAL PLAN
 SCALE: 1/4"=1'-0"