

**PROJECT 1962 - 36 WESTLAND AVENUE, MILFORD, CT**

**COMMUNITY DEVELOPMENT BLOCK GRANT  
DISASTER RECOVERY PROGRAM**

**OWNER OCCUPIED REHABILITATION AND REBUILDING**

**CONNECTICUT DEPARTMENT OF HOUSING  
HARTFORD, CONNECTICUT 06118**



STREET VIEW  
(N.T.S.)

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS.
2. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT MARTINEZ COUCH & ASSOCIATES IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH MARTINEZ COUCH & ASSOCIATES PRIOR TO BIDDING.
4. REFER TO OTHER PLANS, DETAILS, AND PROJECT MANUAL FOR ADDITIONAL INFORMATION.

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Fax: (860) 436-4626  
www.martinezcouch.com

PROJECT 1962  
36 WESTLAND AVENUE  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	11/23/2015	ISSUED FOR BIDDING		MBR	REC
1	11/13/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL		KNL	REC

DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: N.T.S.    DATE 11/13/2015

TITLE SHEET

JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	T-0.0

**SURVEY NOTES**

NORTH ORIENTATION AND COORDINATES REFER TO NAD 83.  
ELEVATIONS BASED ON NAVD 1988.

PARCEL OWNER OF RECORD: EILEEN M. CARLETON  
36 WESTLAND AVE.  
MILFORD, CT 06460

PARCEL AREA = 4,068 SQ. FT., 0.093± ACRES.

PARCEL IS IN THE R5 ZONING DISTRICT.

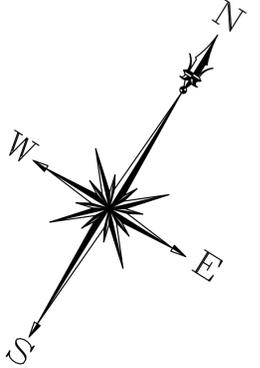
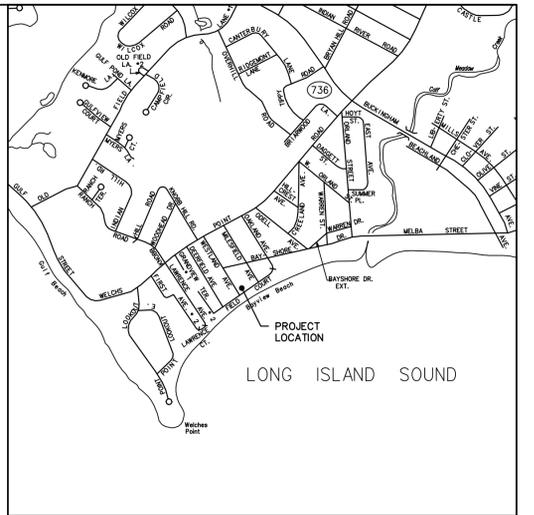
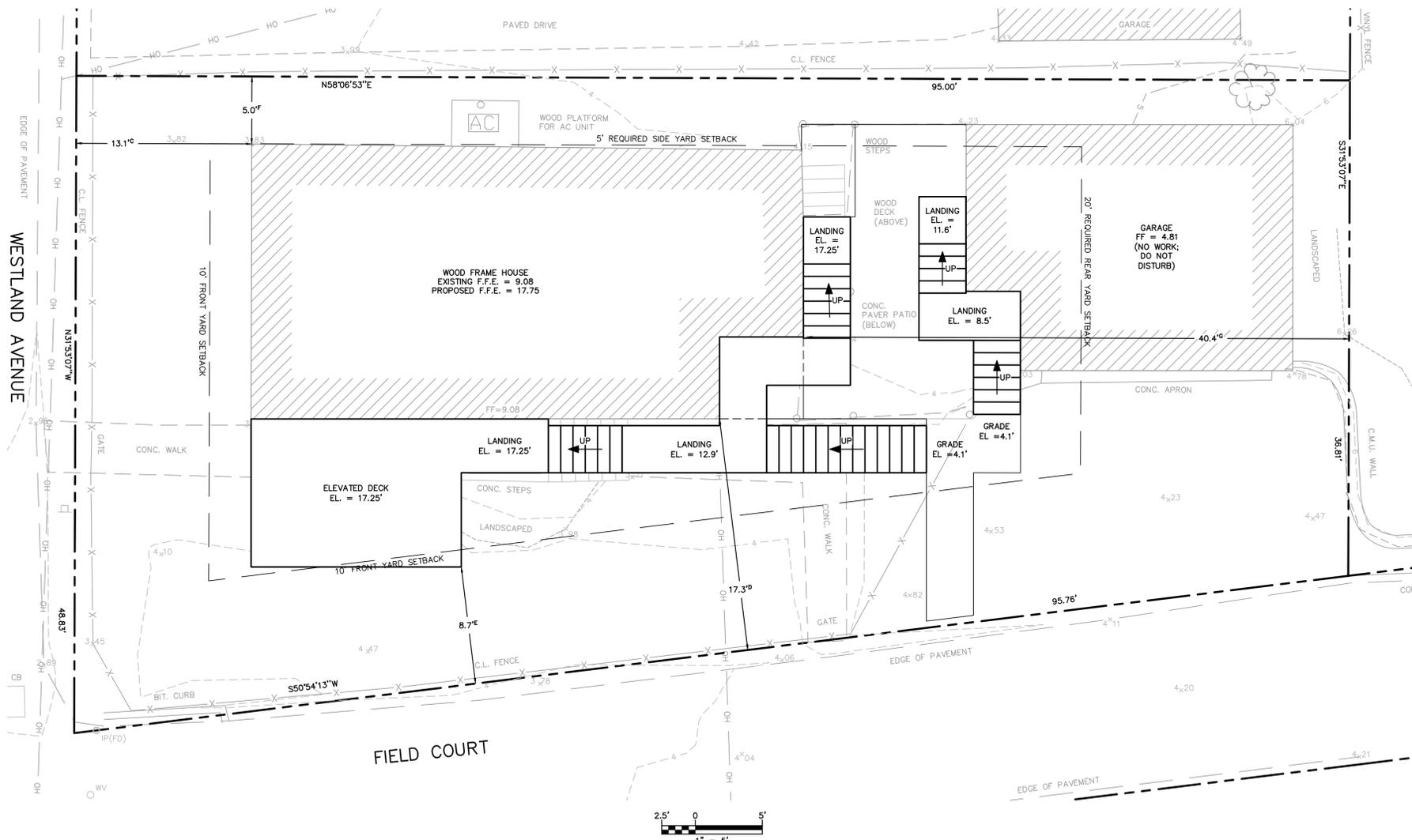
PARCEL ID: MAP 28, BLOCK 572, LOT 1, MILFORD ASSESSOR'S MAPPING.

ENTIRE SUBJECT PARCEL IS IN ZONE AE (EL. 11) FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP, NEW HAVEN COUNTY, CONNECTICUT PANEL 533 OF 635, MAP NUMBER 09009C0533J, MAP REVISED JULY 8, 2013 BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

COASTAL JURISDICTION LINE ELEVATION TAKEN FROM "CTDEEP OFFICE OF LONG ISLAND SOUND PROGRAMS COASTAL JURISDICTION LINE ELEVATIONS" TABLE

**REFERENCE MAPS:**

- MAP OF LOTS SITUATED AT BAYVIEW OWNED BY GEORGE HASKINS & H.C.C. MILES MILFORD CONN. SCALE 1"=50'. JAN. 13, 1922. PREPARED BY W.C. MOREHOUSE.
- MAP OF LOTS OWNED BY LOUISE E. GUYOTT BAYVIEW, MILFORD CONN. SCALE 1"=40'. FEB. 16, 1929. PREPARED BY W.C. MOREHOUSE.



**AVERAGE GRADE CALCULATION**  
 AVERAGE GRADE ELEVATION =  $\frac{\sum(\text{POINT ELEVATIONS})}{\text{NUMBER OF POINTS}}$   
 =  $\frac{(3.82 + 3.88 + 3.92 + 4.24 + 4.23 + 4.58 + 5.80 + 4.56 + 4.42 + 4.46 + 4.14 + 4.18 + 4.25 + 4.05 + 4.24 + 3.71 + 3.97 + 3.69 + 3.60 + 3.78)}{(20 \text{ POINTS})}$   
 =  $\frac{(83.62)}{(20 \text{ POINTS})}$   
 AVERAGE GRADE ELEVATION = 4.18

**SYMBOLS LEGEND**

○	Utility Pole	— 4.7(C.A.)	Property Line
°WV	Water Valve	— 2.9(M.H.W.)	Coastal Jurisdiction Line
MP	Metal Post	— 5	Mean High Water
○ IP(FD)	Iron Pin Found	—	Contour Line
		○	Deciduous Tree
		16x32	Spot Grade

**ZONING REGULATIONS (R-5)**

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (SQ.FT.)	5,000	*4,068	*4,068
MIN. LOT WIDTH (FT.)	50	*47.6 <sup>A</sup> /95.8 <sup>B</sup>	*47.6 <sup>A</sup> /95.8 <sup>B</sup>
MIN. LOT DEPTH (FT.)	70	95.0 <sup>A</sup> / <sup>*</sup> 42.8 <sup>B</sup>	95.0 <sup>A</sup> / <sup>*</sup> 42.8 <sup>B</sup>
MIN. FRONT YARD (FT.)	SEE NOTE 1	13.1 <sup>C</sup> /17.3 <sup>D</sup>	13.1 <sup>C</sup> /17.3 <sup>D</sup> /8.7 <sup>E</sup>
MIN. EACH SIDE YARD (FT.)	SEE NOTE 2	5.0 <sup>F</sup>	5.0 <sup>F</sup>
MIN. REAR YARD (FT.)	20	40.4 <sup>G</sup>	40.4 <sup>G</sup>
MAX. BUILDING HEIGHT (FT.)	35	25.6	34.3
MAX. BUILDING COVERAGE	45%	29.9%	29.9%
MAX. LOT COVERAGE	65%	45.7%	48.3%

- NOTES:**
- TEN FEET OR THE ACTUAL FRONT YARD SETBACK, WHICHEVER IS GREATER; EXCEPT THAT THE MINIMUM REQUIRED FRONT YARD SHALL NOT BE REQUIRED TO EXCEED 20 FEET.
  - ONE SIDE TEN (10) FEET; OTHER SIDE FIVE (5) FEET.
  - PROJECTIONS INTO ANY REQUIRED YARD SHALL NOT EXCEED FOUR (4) FEET INTO ANY REQUIRED YARD NOR A DISTANCE EQUAL TO TWENTY PERCENT (20%) OF THE REQUIRED YARD. PROJECTION REQUIREMENTS ARE AS FOLLOWS:
    - FRONT YARD - FIELD COURT; MINIMUM 12.5 FEET FROM STREET LINE
    - SIDE YARD: MINIMUM 8.0 FEET FROM LOT LINE OR MINIMUM 4.0 FEET FROM LOT LINE
- \* PREEXISTING NONCONFORMITY

- A:** FRONT YARD REFERENCING WESTLAND AVENUE  
**B:** FRONT YARD REFERENCING FIELD COURT  
**C:** SETBACK FROM PRINCIPAL BUILDING TO WESTLAND AVENUE STREET LINE  
**D:** SETBACK FROM PRINCIPAL BUILDING TO FIELD COURT STREET LINE  
**E:** SETBACK FROM PROJECTING DECK TO FIELD COURT STREET LINE  
**F:** SETBACK FROM PRINCIPAL BUILDING TO SIDE LOT LINE  
**G:** SETBACK FROM PRINCIPAL BUILDING TO REAR LOT LINE

**REFERENCE MAP:**  
 1. "BOUNDARY AND TOPOGRAPHIC SURVEY" FOR CTDOH AT 36 WESTLAND AVENUE, MILFORD, CONNECTICUT; DATE: 12-30-2014; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC  
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**MCA**  
**MARTINEZ COUCH & ASSOCIATES**  
 ENGINEERING • LAND SURVEYING • ENVIRONMENTAL  
 CONSTRUCTION INSPECTION • GIS • WASTEWATER

1084 Cromwell Avenue, Suite A-2  
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**MILFORD, CONNECTICUT 06460**

**PROGRESS PRINT**  
**NOT FOR CONSTRUCTION**

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DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: 1" = 5'    DATE: 11/13/2015

**IMPROVEMENT LOCATION PLAN**

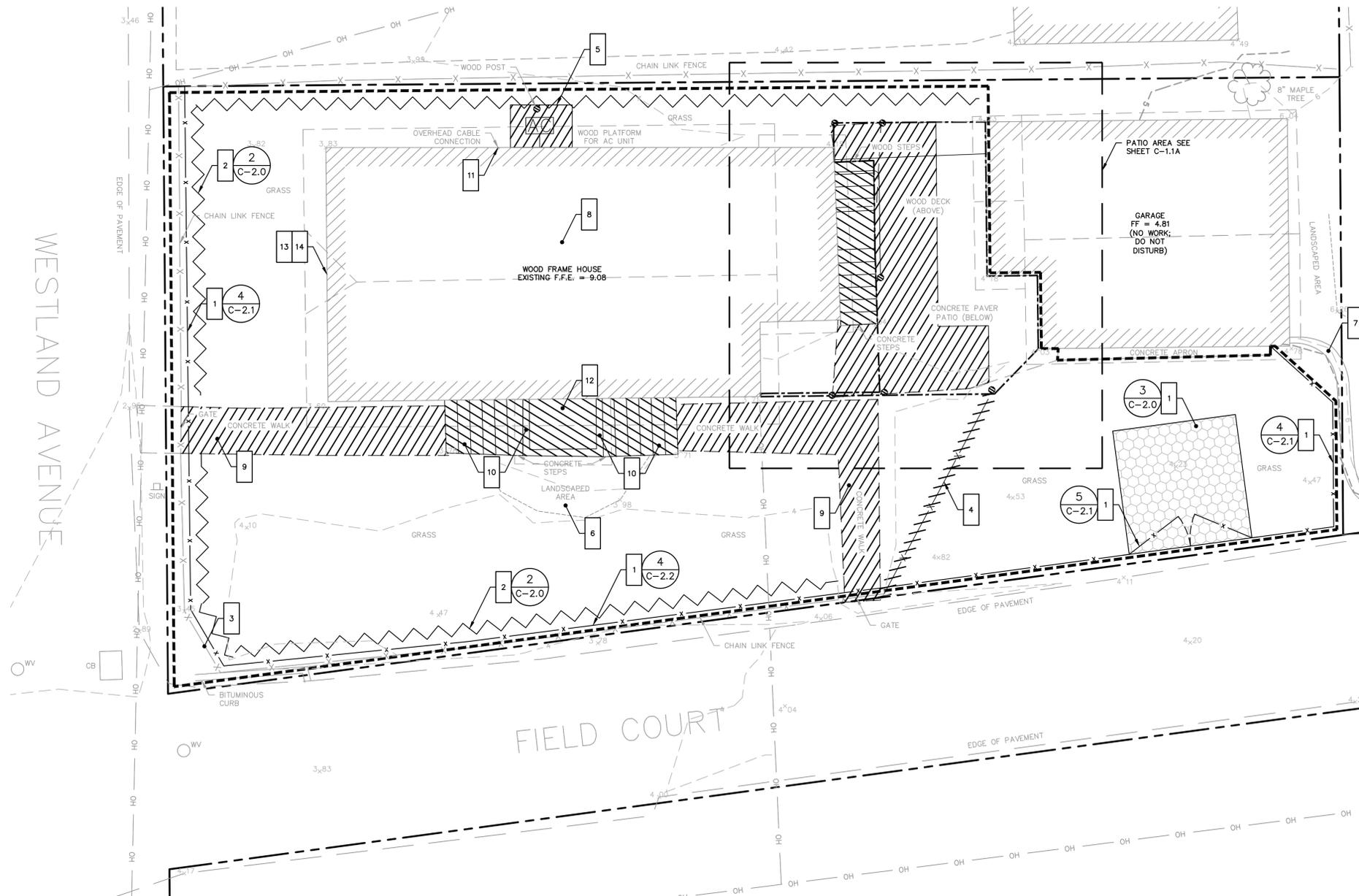
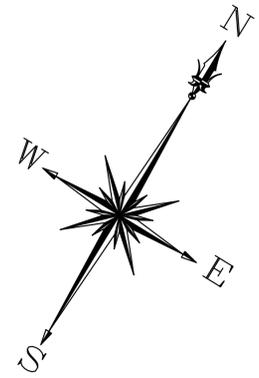
JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	IMPROVEMENT 33-262-1962.dwg	C-1.0

**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAP: TOPOGRAPHIC & BOUNDARY SURVEY, 36 WESTLAND AVENUE, MILFORD, CONNECTICUT. SCALE 1" = 10'. DATED 12-30-2014. PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC.
4. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
5. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
6. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
7. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
9. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION NOTES**

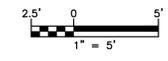
- 1 FURNISH AND INSTALL 8' HIGH CHAIN LINK FENCE WHERE INDICATED ON PLAN; FURNISH AND INSTALL 10' WIDE DOUBLE LEAF GATE WHERE INDICATED ON PLAN; INSTALL CONSTRUCTION TRACK PAD AT GATED ENTRANCE
- 2 FURNISH AND INSTALL SILT FENCE WHERE INDICATED ON PLAN
- 3 PROTECT EXISTING CHAIN LINK FENCE WHERE FEASIBLE. REMOVE AND RESET SECTIONS AS NECESSARY FOR SITE ACCESS. ALL FENCE SECTIONS TO BE REPLACED IF DAMAGED DURING PROJECT.
- 4 REMOVE CHAIN LINK FENCE WHERE INDICATED ON PLAN AND STORE ON SITE
- 5 DISCONNECT AIR CONDITIONING UNIT AND STORE ON SITE; DEMOLISH WOOD PLATFORM AND WOOD POST AND REMOVE OFF SITE
- 6 REMOVE BUSHES IN LANDSCAPED AREAS AS NECESSARY TO COMPLETE WORK
- 7 PROTECT CMU WALL
- 8 SUPPORT CHIMNEY AND LIFT WITH HOUSE, EXISTING CHIMNEY FOUNDATION TO REMAIN
- 9 DEMOLISH CONCRETE WALKS AS NECESSARY TO COMPLETE PROJECT WORK AND REMOVE OFF SITE
- 10 DEMOLISH CONCRETE STEPS AND LANDING AND REMOVE OFF SITE
- 11 COORDINATE DISCONNECT OF TELECOMMUNICATIONS SERVICE
- 12 PROTECT FRONT PORCH ROOF DURING CONSTRUCTION ACTIVITIES
- 13 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 14 DEMOLISH EXISTING FOUNDATION INCLUDING ALL SUBSURFACE ELEMENTS AND REMOVE OFF SITE
- 15 REMOVE TEMPORARY FENCING UPON COMPLETION OF CONSTRUCTION, AND REMOVE E&S CONTROLS AFTER STABILIZATION IS COMPLETE



**LEGEND**

- 1 WORK NOTE
- [Hatched Box] SITE FEATURE TO BE DEMOLISHED
- [Dashed Line] LIMIT OF WORK
- [Circle with #/C-2.X] DETAIL REFERENCE  
# = DETAIL NUMBER  
X = DETAIL SHEET NUMBER
- [Wavy Line] SILT FENCE
- [Line with X] CHAIN LINK FENCE
- [Hexagonal Pattern Box] CONSTRUCTION TRACK PAD
- [Dashed Line] EDGE OF EXISTING BITUMINOUS CONCRETE ROADWAY
- [Dashed Line] EDGE OF EXISTING WALK
- [Dashed Line] EDGE OF EXISTING LANDSCAPED AREA
- [Dashed Line] LIMIT OF EXISTING HOUSE AND FOUNDATION
- [Line with X] EXISTING CHAIN LINK FENCE
- [Line with OH] EXISTING OVERHEAD ELECTRICAL LINE
- [Line with +] EXISTING CONTOUR WITH ELEVATION LABEL
- [Dotted Line] EXISTING SPOT GRADE
- [Dashed Line] PROPERTY LINE

**SITE PLAN**



REFERENCE MAP:  
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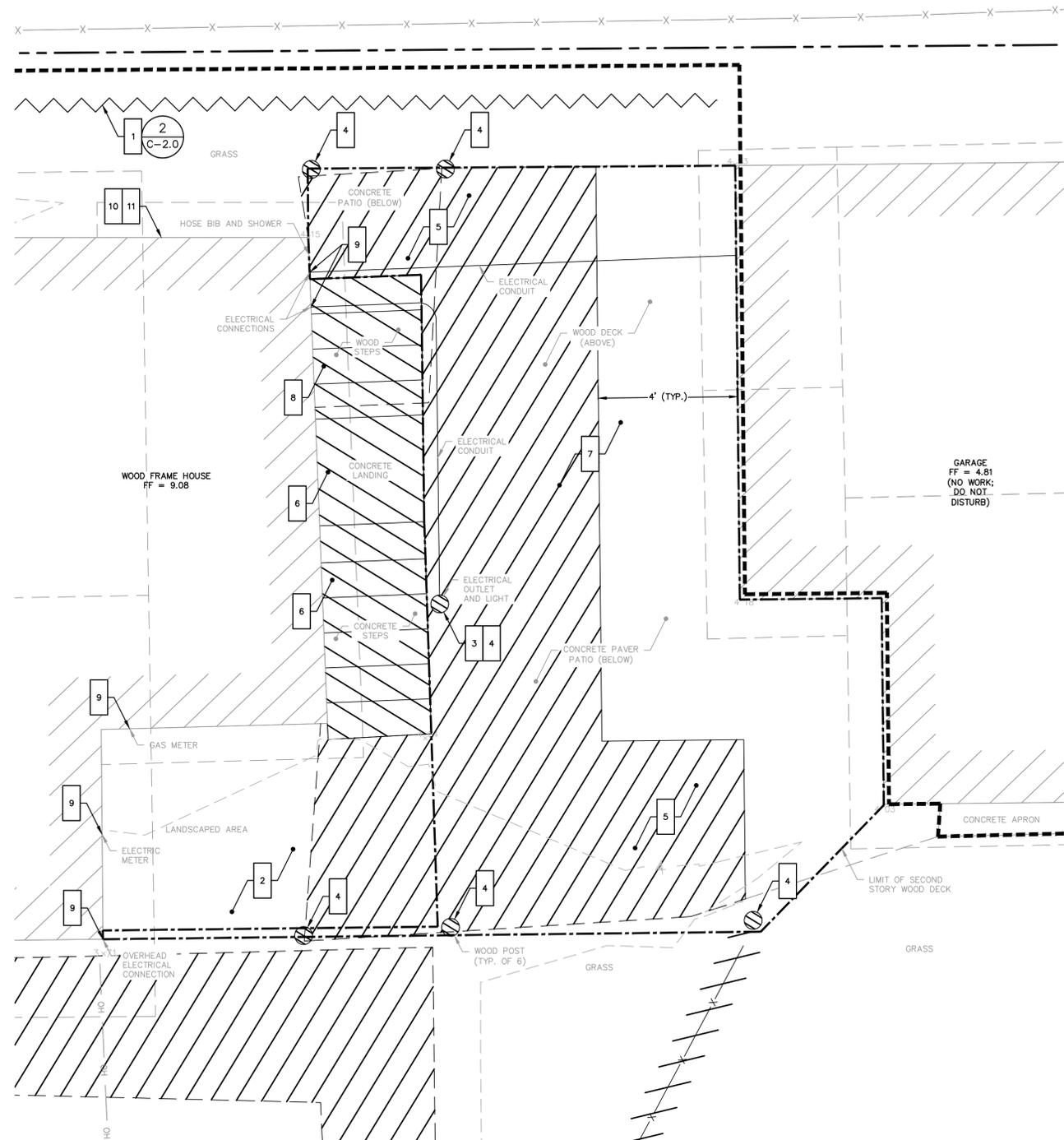
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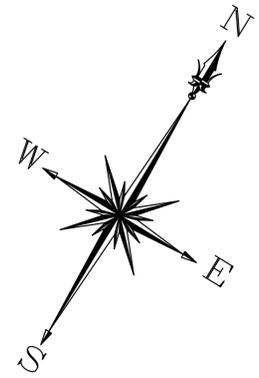
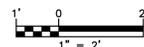
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DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: 1" = 5'	DATE: 11/13/2015

**SOIL EROSION AND SEDIMENT CONTROL, DEMOLITION PLAN**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	C-1.1



**SITE PLAN**



**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
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6. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
7. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
9. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**SOIL EROSION AND SEDIMENT CONTROL/DEMOLITION NOTES**

- 1 FURNISH AND INSTALL SILT FENCE WHERE INDICATED ON PLAN
- 2 REMOVE BUSHES IN LANDSCAPED AREAS AS NECESSARY TO COMPLETE WORK
- 3 REMOVE LIGHT AND ELECTRICAL OUTLET ON WOOD POST ADJACENT TO CONCRETE STEPS ON NORTHEAST SIDE OF HOUSE AND STORE ON SITE; DISCONNECT ELECTRICAL CONDUITS UNDER WOOD DECK AND STORE ON SITE
- 4 REMOVE SIX WOOD POSTS AND REMOVE OFF SITE
- 5 DEMOLISH CONCRETE PAVER PATIO OR SALVAGE FOR REINSTALLATION; DEMOLISH CONCRETE SLAB WHERE INDICATED ON PLAN AND REMOVE OFF SITE; DO NOT DISTURB BELOW TOP 6" SOIL WITHIN 4' OF GARAGE, EXCEPT FOR NEW STAIR FOOTING INSTALLATION. TEMPORARY SHORING AND SUPPORT OF GARAGE IS THE RESPONSIBILITY OF THE CONTRACTOR
- 6 DEMOLISH CONCRETE STEPS AND LANDING AND REMOVE OFF SITE
- 7 DEMOLISH SECOND STORY WOOD DECK AND REMOVE OFF SITE
- 8 DEMOLISH WOOD STEPS AND REMOVE OFF SITE
- 9 COORDINATE UTILITY DISCONNECTS, INCLUDING WATER, ELECTRIC, AND GAS
- 10 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 11 DEMOLISH EXISTING FOUNDATION AND REMOVE OFF SITE
- 12 REMOVE E&S CONTROLS AFTER STABILIZATION IS COMPLETE

**LEGEND**

- 1 WORK NOTE
- [Hatched Box] SITE FEATURE TO BE DEMOLISHED
- [Dashed Line] LIMIT OF WORK
- [Circle with #/C-2.X] DETAIL REFERENCE  
# = DETAIL NUMBER  
X = DETAIL SHEET NUMBER
- [Dotted Line] EDGE OF EXISTING WALK
- [Dashed Line] EDGE OF EXISTING LANDSCAPED AREA
- [Solid Line] LIMIT OF EXISTING HOUSE AND FOUNDATION
- [Line with X] EXISTING CHAIN LINK FENCE
- [Line with OH] EXISTING OVERHEAD ELECTRICAL LINE
- [Line with +] EXISTING CONTOUR WITH ELEVATION LABEL
- 4.50 EXISTING SPOT GRADE

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**SOIL EROSION AND SEDIMENT CONTROL, DEMOLITION PLAN - PATIO AREA**

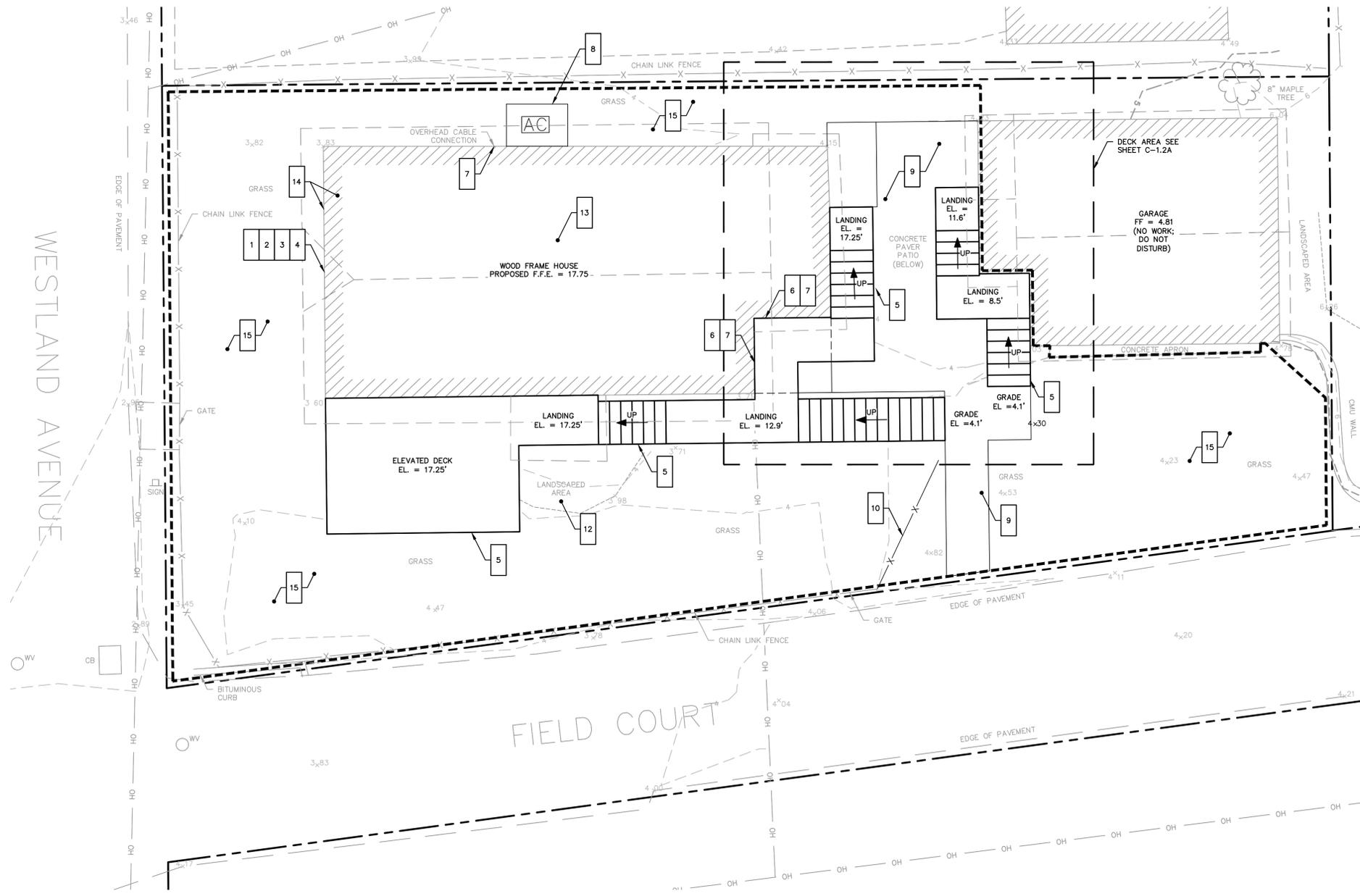
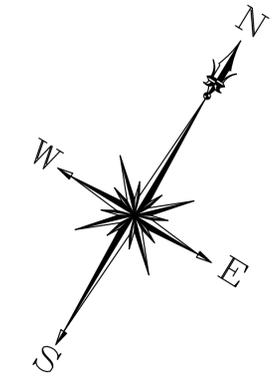
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**WORK NOTES**

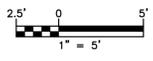
- 1 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 2 INSTALL NEW FOUNDATION ON PILES UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS, AS SHOWN ON STRUCTURAL DRAWINGS
- 5 INSTALL NEW DECKS AND STAIRS AT PROPOSED ELEVATIONS
- 6 EXTEND WATER, GAS, AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS. SEE SHEET C-1.3.
- 7 COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES. SEE SHEET C-1.3
- 8 CONSTRUCT CONCRETE STEM WALL FOR AIR CONDITIONING UNIT; REMOVE AIR CONDITIONING UNIT FROM STORAGE AND REINSTALL AT REAR OF HOUSE, ABOVE 100-YEAR FEMA BASE FLOOD ELEVATION - FOR AE ZONE, ELEVATION = 11.0 (NAVD88)
- 9 PAVE ACCESS SIDEWALKS AND RESTORE PAVER PATIO AREA BETWEEN HOUSE AND GARAGE
- 10 REINSTALL CHAIN LINK FENCE WHERE INDICATED ON PLAN
- 11 LOAM AND SEED ANY BARE AREAS
- 12 PROVIDE AND INSTALL SHRUBS TO MATCH EXISTING SPECIES IN LANDSCAPED AREAS; RE-MULCH LANDSCAPED AREAS; MULCH AREAS BENEATH DECKS AND ACCESS STAIRS
- 13 FURNISH AND INSTALL ALL MATERIALS FOR CMU FOUNDATION SUPPORT FOR EXISTING CHIMNEY; SEE STRUCTURAL DRAWINGS
- 14 COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- 15 RESTORE EXTERIOR AREAS TO EXISTING CONDITIONS OR BETTER



**LEGEND**

- 1 WORK NOTE
- LIMIT OF WORK
- # C-2.X DETAIL REFERENCE  
# = DETAIL NUMBER  
X = DETAIL SHEET NUMBER
- EDGE OF EXISTING BITUMINOUS CONCRETE ROADWAY
- EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- EDGE OF EXISTING WALK
- EDGE OF EXISTING LANDSCAPED AREA
- LIMIT OF ELEVATED HOUSE
- LIMIT OF ELEVATED ROOF OVERHANG
- X- EXISTING CHAIN LINK FENCE
- OH EXISTING OVERHEAD ELECTRICAL LINE
- EXISTING CONTOUR WITH ELEVATION LABEL
- 4.80 EXISTING SPOT GRADE
- PROPERTY LINE

**SITE PLAN**



REFERENCE MAP:  
1. "TOPOGRAPHIC & BOUNDARY SURVEY" FOR CTDOH AT 36 WESTLAND AVE., MILFORD, CONNECTICUT; DATE: 12-30-2014; SCALE: 1"=10'; PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC

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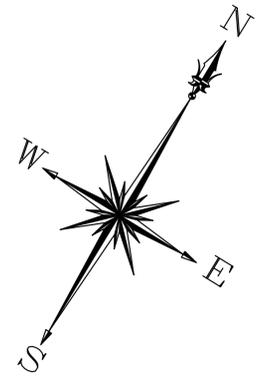
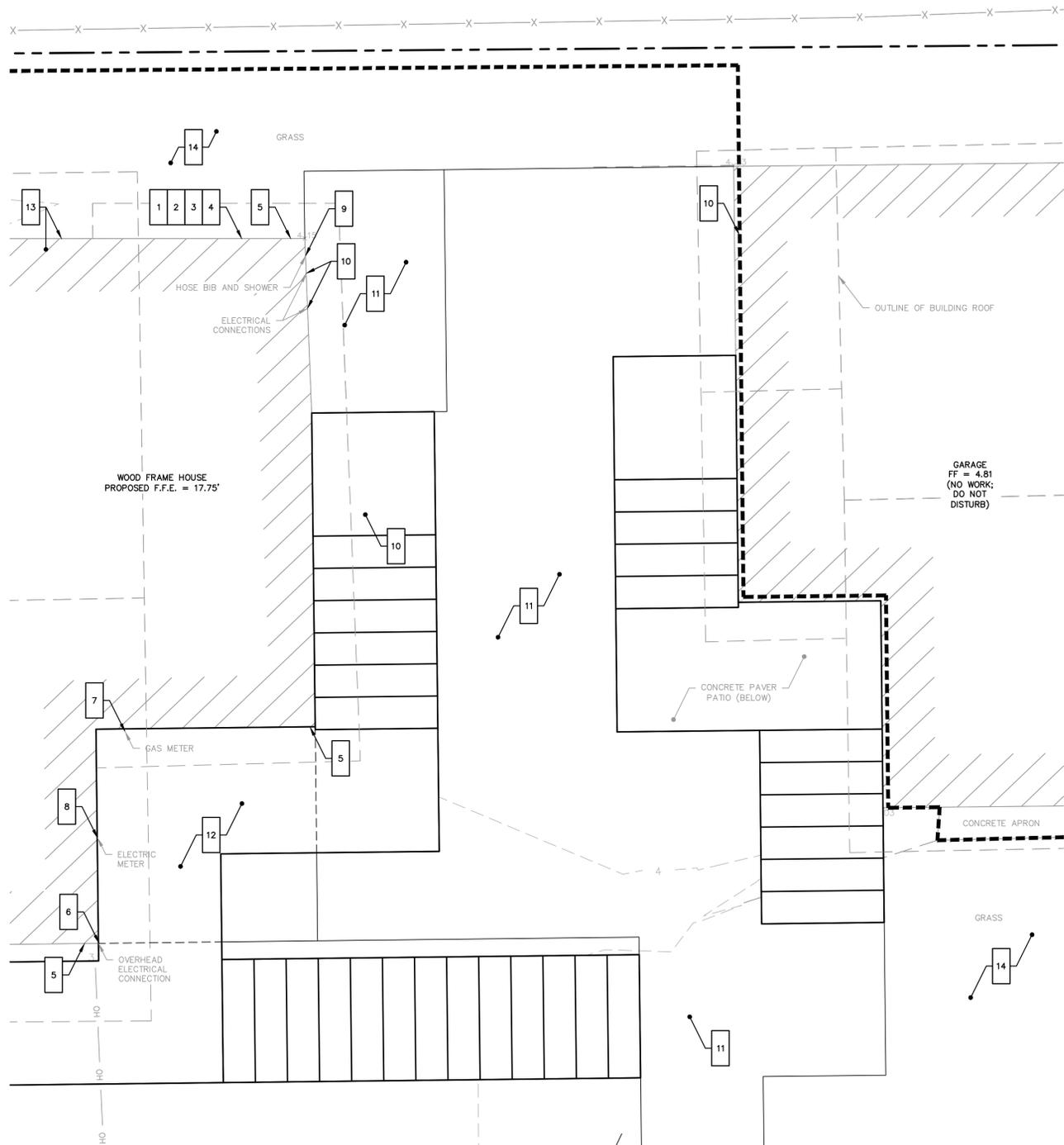
PROJECT 1962  
36 WESTLAND AVENUE  
MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	11/23/2015	ISSUED FOR BIDDING		MBR	MBR
1	11/13/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL		KNL	MBR
DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: 1" = 5'    DATE 11/13/2015					

**SITE PLAN**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	C-1.2



**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. REFERENCE IS HEREBY MADE TO THE FOLLOWING MAP: TOPOGRAPHIC & BOUNDARY SURVEY, 36 WESTLAND AVENUE, MILFORD, CONNECTICUT. SCALE 1" = 10'. DATED 12-30-2014. PREPARED BY MARTINEZ COUCH & ASSOCIATES, LLC.
4. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
5. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

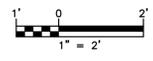
**WORK NOTES**

- 1 SUPPORT HOUSE AND LIFT TO PROPOSED ELEVATION
- 2 INSTALL NEW FOUNDATION ON PILES UPON COMPLETION OF FOUNDATION DEMOLITION; SEE STRUCTURAL DRAWINGS
- 3 INSTALL FIRST FLOOR FRAMING AND SUPPORTS; SEE STRUCTURAL DRAWINGS
- 4 LOWER HOUSE ONTO SUPPORTS AT PROPOSED ELEVATIONS, AS SHOWN ON STRUCTURAL DRAWINGS
- 5 EXTEND ROOF DOWNSPOUTS TO GRADE; FURNISH AND INSTALL CONCRETE SPLASH BLOCKS
- 6 COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE
- 7 COORDINATE RELOCATION OF GAS METER TO UTILITY PROVIDER APPROVED LOCATION. SEE SHEET C-1.3
- 8 RELOCATE ELECTRIC METER TO UTILITY PROVIDER APPROVED LOCATION ABOVE FEMA 100-YEAR BASE FLOOD ELEVATION 11' FOR AE ZONE.
- 9 RELOCATE HOSE BIB TO ELEVATED DECK. FURNISH AND INSTALL NEW NON FREEZE WALL HYDRANT PER SPECIFICATIONS.
- 10 FURNISH AND INSTALL ALL MATERIALS TO EXTEND ELECTRICAL CONDUITS AND REINSTALL LIGHT FIXTURES AND WEATHER PROOF RECEPTACLES AT NEW LOCATIONS ON NEW DECK AND STRUCTURAL COLUMNS; CAP AND PLUG ELECTRIC CONDUITS AT GARAGE.
- 11 PAVE ACCESS SIDEWALK AT BOTTOM OF PROPOSED STAIRS; FURNISH AND INSTALL CONCRETE PAVER PATIO BENEATH ELEVATED DECK OR REINSTALL SALVAGED PAVERS. FURNISH AND INSTALL MATERIALS FOR CONCRETE PAD AT NORTHWEST AREA OF HOUSE. CONCRETE PAD TO BE MINIMUM OF 4" THICK
- 12 RE-MULCH LANDSCAPED AREAS; MULCH AREAS BENEATH DECKS AND ACCESS STAIRS
- 13 COMPLETE REMAINING BUILDING WORK (BOTH INTERIOR AND EXTERIOR)
- 14 RESTORE EXTERIOR AREAS TO EXISTING CONDITIONS OR BETTER

**LEGEND**

- 1 WORK NOTE
- LIMIT OF WORK
- # C-2.X DETAIL REFERENCE  
# = DETAIL NUMBER  
X = DETAIL SHEET NUMBER
- EDGE OF EXISTING BITUMINOUS CONCRETE ROADWAY
- EDGE OF EXISTING BITUMINOUS CONCRETE DRIVEWAY
- EDGE OF EXISTING WALK
- EDGE OF EXISTING LANDSCAPED AREA
- LIMIT OF ELEVATED HOUSE
- LIMIT OF ELEVATED ROOF OVERHANG
- X- EXISTING CHAIN LINK FENCE
- OH EXISTING OVERHEAD ELECTRICAL LINE
- EXISTING CONTOUR WITH ELEVATION LABEL
- 4.80 EXISTING SPOT GRADE
- PROPERTY LINE

**SITE PLAN**



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DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: 1" = 2'	DATE: 11/13/2015

**SITE PLAN - PATIO AREA**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	C-12A

**GENERAL NOTES**

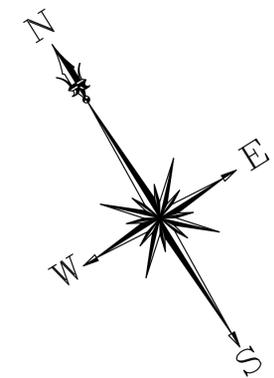
1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MCA PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, TO MCA'S APPROVAL.
5. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
7. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**BUILDING UTILITY GENERAL NOTES**

1. PLAN REPRESENTATION OF BUILDING UTILITIES ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL PREPARE AND SUBMIT ALL COORDINATION DRAWINGS AS REQUIRED BY SPECIFICATION DIVISIONS 22, 23, AND 26 AND SUBMIT TO THE ENGINEER FOR APPROVAL.
2. FOR COMPLETE BUILDING UTILITY WORK REQUIREMENTS REFER TO CONTRACT SPECIFICATIONS.
3. IT IS THE PROJECT INTENT TO TURN OVER COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS TO THE OWNER FOR FINAL ACCEPTANCE OF PROJECT WORK.
4. FINAL PAYMENT WILL NOT BE PROCESSED WITHOUT SUBMITTAL OF ALL TESTING REPORTS OR EVIDENCE THEREOF FOR COMPLETE, FULLY FUNCTIONAL, AND OPERATING UTILITY SYSTEMS, AS REQUIRED BY CONTRACT SPECIFICATIONS AND AUTHORITIES HAVING JURISDICTION.

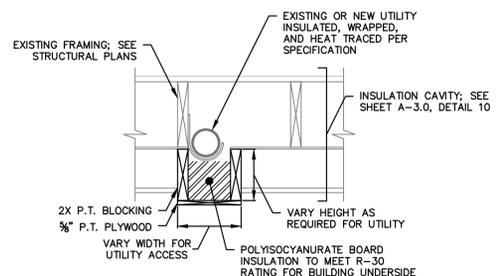
1. COORDINATE RECONNECTION OF OVERHEAD ELECTRICAL SERVICE TO EXISTING SERVICE MAST AT NORTH SIDE OF HOUSE. RECONNECT ELECTRICAL SERVICE METER OR REPLACE AS REQUIRED BY UTILITY PROVIDER. INSTALL ELECTRICAL SERVICE METER AT UTILITY PROVIDER APPROVED LOCATION ON ELEVATED DECK/WALK ABOVE 100-YEAR FEMA FLOOD ELEVATION 11.0 (NAVD88).
2. EXTEND WATER, GAS, AND SANITARY SERVICES TO ELEVATED HOUSE; INSULATE, PROTECT, AND MOUNT ALL SERVICES PER CONTRACT SPECIFICATIONS. CONSTRUCT UTILITY ACCESS CHASES FOR DOMESTIC WATER, SANITARY SEWER, AND NATURAL GAS SERVICE PIPING.
3. DISCONNECT GAS-FIRED FURNACE AND HOT WATER HEATER PRIOR TO HOME ELEVATION IN MECHANICAL ROOM; RECONNECT, BALANCE, AND COMMISSION AFTER HOME ELEVATION.
4. COORDINATE OTHER UTILITY CONNECTIONS, INCLUDING TELECOMMUNICATIONS; RESTORE ALL SERVICES TO FUNCTIONAL SERVICE STATES.
5. DISCONNECT EXISTING CONDENSOR UNIT FOR CENTRAL AIR SYSTEM AND STORE ONSITE DURING HOME ELEVATION. INSTALL ON NEW SUPPORT AFTER HOME ELEVATION. RECONNECT AND COMMISSION SYSTEM. EXTEND REFRIGERANT LINES AS REQUIRED. MAINTAIN ALL ELECTRICAL COMPONENTS INCLUDING DISCONNECT ABOVE FEMA 100 YEAR BASE FLOOD ELEVATION.

6. RECONNECT GAS METER OR REPLACE AS REQUIRED BY UTILITY PROVIDER. EXTEND NATURAL GAS SERVICE PIPING TO BUILDING ENVELOPE AFTER HOME ELEVATION. COORDINATE RELOCATION OF GAS METER ADJACENT TO NEW CONCRETE COLUMN.
7. FIELD VERIFY LOCATION OF EXISTING WATER METER. REINSTALL WATER METER OR REPLACE AS REQUIRED BY THE REGIONAL WATER AUTHORITY RULES AND REGULATIONS. DOMESTIC WATER SERVICE LINE TO BE REPLACED AS DISTURBED BY CONSTRUCTION ACTIVITY, BUT NOT BEYOND PROPERTY LINE.
8. LOCATION OF SANITARY SERVICE LATERAL UNKNOWN. SANITARY DRAIN PIPING TO BE REPLACED FROM BUILDING UNDERSIDE ENVELOPE TO PROPERTY LINE. NEW SOIL STACK AND HORIZONTAL RUN TO PROPERTY LINE TO BE 6" AWWA C900 PIPE. VERTICAL DROP TO BE LOCATED ADJACENT TO NEW STRUCTURAL COLUMN, AND DRAIN PIPING TO BE REROUTED AS REQUIRED. SEE SANITARY DRAIN SCHEMATIC, THIS SHEET.
9. FURNISH AND INSTALL ALL MATERIALS FOR COLUMN UTILITY CHASE FOR SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND NATURAL GAS SERVICE LINES. SEE STRUCTURAL PLANS FOR LOCATION OF COLUMNS.
10. REMOVE EXISTING BASEBOARD HEATER IN CRAWLSPACE. FURNISH AND INSTALL NEW SECTION OF HYDRONIC PIPING. MATCH EXISTING ADJACENT PIPING TYPE. ISOLATE ZONE PRIOR TO DISCONNECT AND BALANCE SYSTEM AFTER INSTALLATION OF NEW PIPING SECTION.



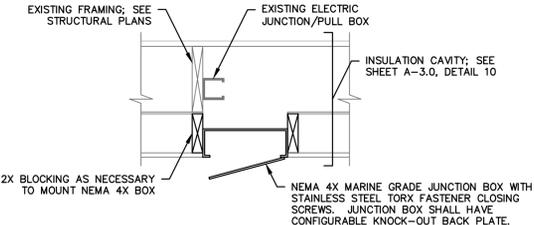
**LEGEND**

- 1 WORK NOTE
- ⊘ # C-2.X DETAIL REFERENCE  
# = DETAIL NUMBER  
X = DETAIL SHEET NUMBER
- LIMIT OF ELEVATED HOUSE
- OH — EXISTING OVERHEAD LINE
- SNET #63 EXISTING UTILITY POLE
- WV EXISTING WATER VALVE



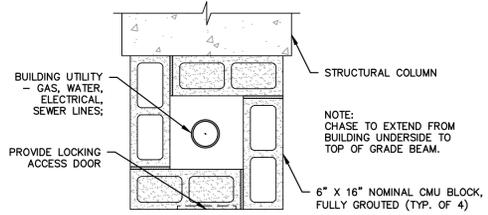
1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. WIDTH OF UTILITY CHASE SHALL BE FIELD VERIFIED WITH CONTRACTOR AND ENGINEER FOR PROPER ACCESS TO REPLACE, REPAIR, OR MAINTAIN SUBJECT UTILITY.
3. UTILITY CHASE SHALL BE CONSTRUCTED FOR NATURAL GAS SERVICE, SANITARY SEWER DRAIN, AND DOMESTIC WATER SERVICE PIPING.

**1 UTILITY ACCESS CHASE**  
C-1.3 1" = 1'

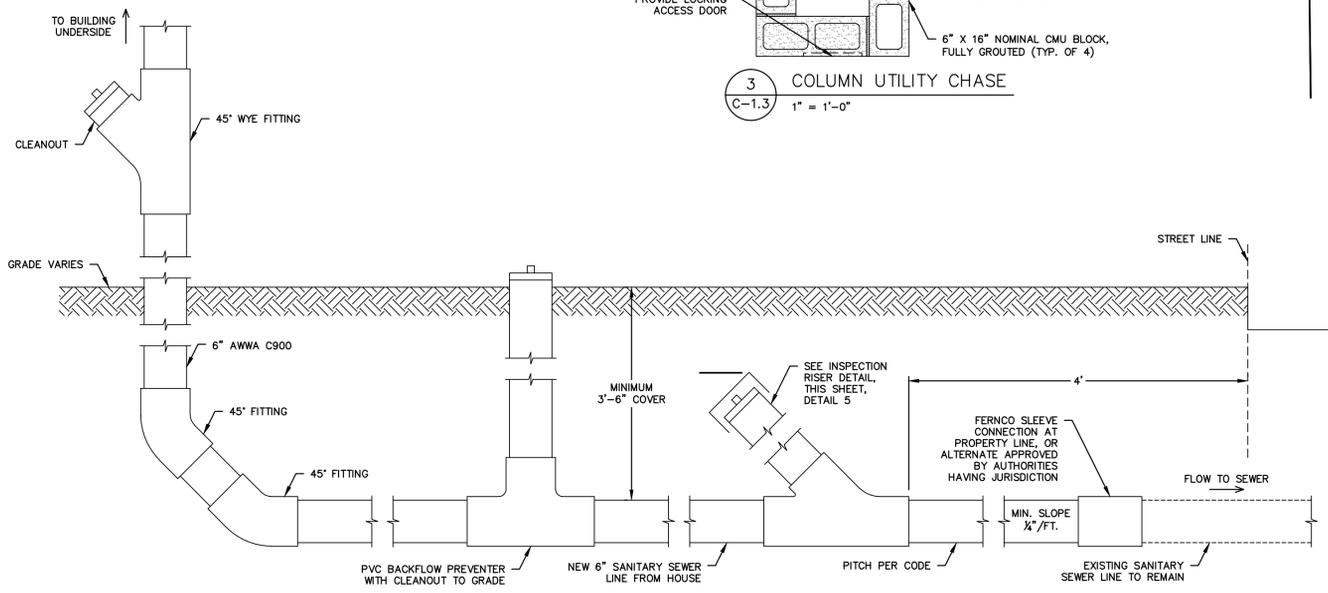


1. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL.
2. CONTRACTOR SHALL VERIFY IN FIELD AND REVIEW WITH ENGINEER LOCATIONS OF EXISTING JUNCTION/PULL BOXES FOR NEW ACCESS BOX INSTALLATION.
3. NEMA JUNCTION BOX SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS, FLUSH WITH SURROUNDING GYPSUM BOARD, WITH WEATHER TIGHT SEAL.

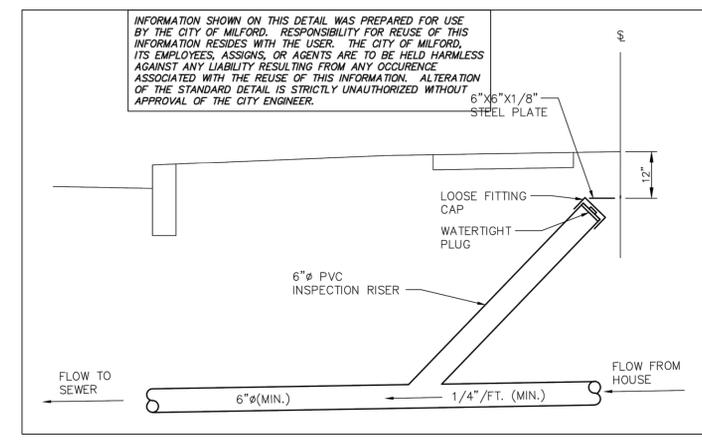
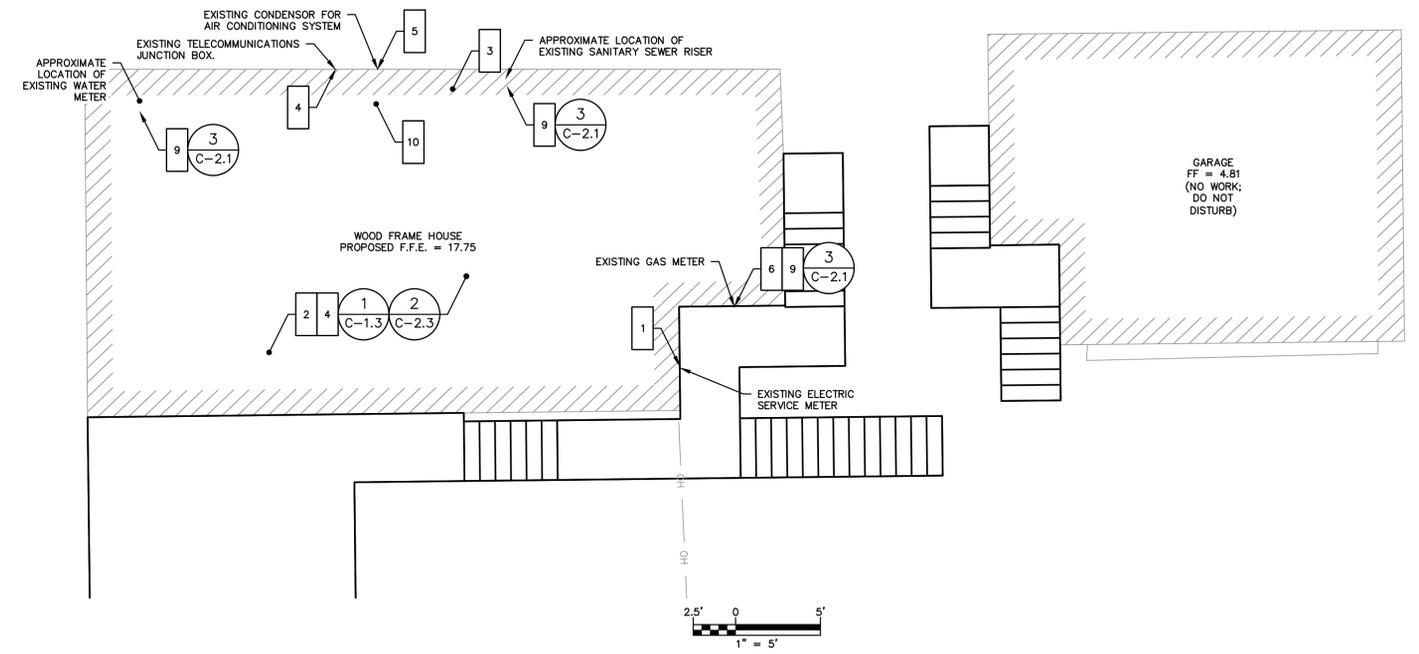
**2 ELECTRICAL JUNCTION BOX ACCESS**  
C-1.3 1" = 1'



**3 COLUMN UTILITY CHASE**  
C-1.3 1" = 1'-0"



**4 SANITARY DRAIN SCHEMATIC**  
C-1.3 1" = 1'



**5 INSPECTION RISER**  
C-1.3 N.T.S.

A CONDITION OF ALL SEWER PERMITS FOR INSTALLING RESIDENTIAL SEWER CONNECTIONS IS THE REQUIREMENT TO FURNISH AND INSTALL A SEWER INSPECTION RISER IN THAT AREA OF THE STREET RIGHT-OF-WAY BETWEEN THE CURB AND THE STREET LINE (FRONT PROPERTY LINE). THE INSPECTION RISER IS TO CONSIST OF A 45° WYE FITTING INSTALLED ON THE HOUSE CONNECTION SEWER APPROXIMATELY 4 FEET BEHIND THE STANDARD CURB LOCATION\*. A 6" PVC INSPECTION RISER PIPE IS TO BE INSTALLED TO WITHIN 12" OF THE FINISHED GROUND SURFACE AND FITTED WITH A WATERTIGHT PLUG. A 6"X6"X1/8" STEEL PLATE IS TO BE PLACED ABOVE THE END OF THE INSPECTION RISER WHEN BACKFILLING THE AREA TO GRADE TO ASSIST WITH FUTURE RECOVERY OF THE INSPECTION RISER BY MEANS OF A MAGNETIC DETECTOR.

\*IN A SEWER EASEMENT THE INSPECTION RISER IS TO BE AT THE EDGE OF THE EASEMENT.

\*IN LOCATIONS WHERE AN EXISTING LATERAL EXTENDS TO THE STREET LINE, THE "Y" CONNECTION SHALL BE PLACED AS CLOSE TO THE STREET LINE AS POSSIBLE WITH THE INSPECTION RISER EXTENDING TO WITHIN 12" OF GRADE AND LOCATED ON PRIVATE PROPERTY.

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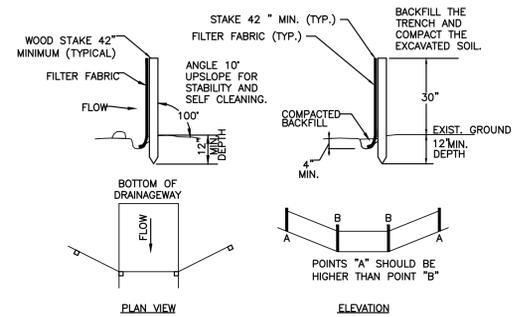
NO.	DATE	REVISIONS	BY	CHK	APPV
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1	11/13/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL		KNL	MBR
DRAWN: KNL CHECKED: MBR APPROVED: REC SCALE: AS NOTED DATE 11/13/2015					

**BUILDING UTILITY PLAN**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	C-1.3

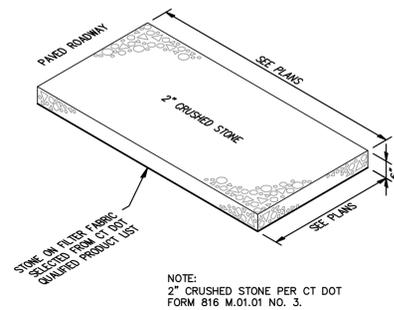
SEEDING SCHEDULE			
PERMANENT SEEDING			
PERMANENT SEEDING SHALL BE ACCOMPLISHED WITH ONE OF THE FOLLOWING SEEDING MIXTURES:			
KIND OF AREA: LAWNS AND HIGH MAINTENANCE AREAS			
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.	
KENTUCKY BLUEGRASS	20	0.45	
CREeping RED FESCUE	20	0.45	
PERENNIAL RYEGRASS	5	0.1	
TOTAL	45	1.0	
TEMPORARY SEEDING RATES AND 11/13/2015S			
SEED MIXTURE	LBS./ACRE	LBS./1,000 SQ.FT.	11/13/2015 (1)(3) DEPTH (2)
ANNUAL RYEGRASS	40	1.0	8/1-10/1 0.5 INCHES 3/1-6/15
SEEDING NOTES: (1) MAY BE PLANTED THROUGHOUT SUMMER IF SOIL IS ADEQUATE OR CAN BE IRRIGATED. (2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOILS. SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CT			
ORGANIC MULCH MATERIALS AND APPLICATION RATES			
MULCHES	PER ACRE	PER 1,000 SQ.FT.	NOTES
STRAW OR HAY	1/2-2 TONS	70-90 LBS	FREE FROM MATTER AND COARSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.

1 TYPICAL SEEDING SCHEDULE  
C-2.0 N.T.S.



- A) MINIMUM LENGTH OF SILT FENCE IS 15 L.F.
- B) MAXIMUM POST SPACING IS 10 L.F.
- C) JOINTS ONLY AT SUPPORT POST WITH MINIMUM 6" OVERLAP, SECURELY SEALED.
- D) SEDIMENTATION DEPOSITS SHALL BE REMOVED WHEN THEY REACH 1/2 THE HEIGHT OF THE SILT FENCE.
- E) SILT FENCE SHALL NOT BE USED IN A WATER COURSE.
- F) UPON ESTABLISHMENT OF GROUND COVER ON DISTURBED AREAS, AND WHEN DIRECTED BY THE ENGINEER, FENCE WILL BE REMOVED AND ANY SEDIMENTATION WILL BE THINLY SPREAD UPON EXISTING GROUND COVER.

2 TYPICAL SILTATION FENCE  
C-2.0 N.T.S.



3 TYPICAL CONSTRUCTION TRACK PAD  
C-2.0 N.T.S.

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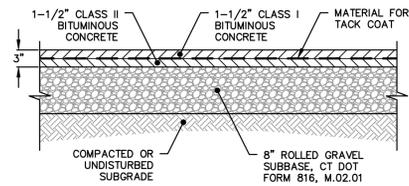
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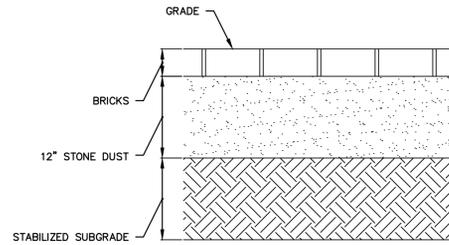
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DRAWN: KNL    CHECKED: MBR    APPROVED: REC    SCALE: N.T.S.    DATE 11/13/2015					

SOIL EROSION AND  
SEDIMENT CONTROL DETAILS

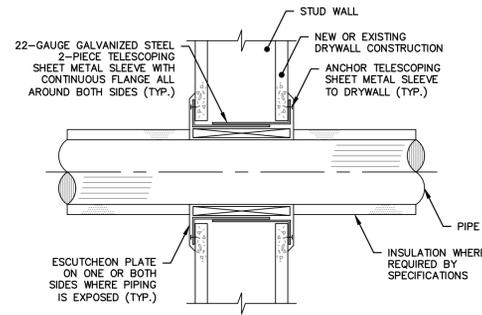
JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	C-2.0



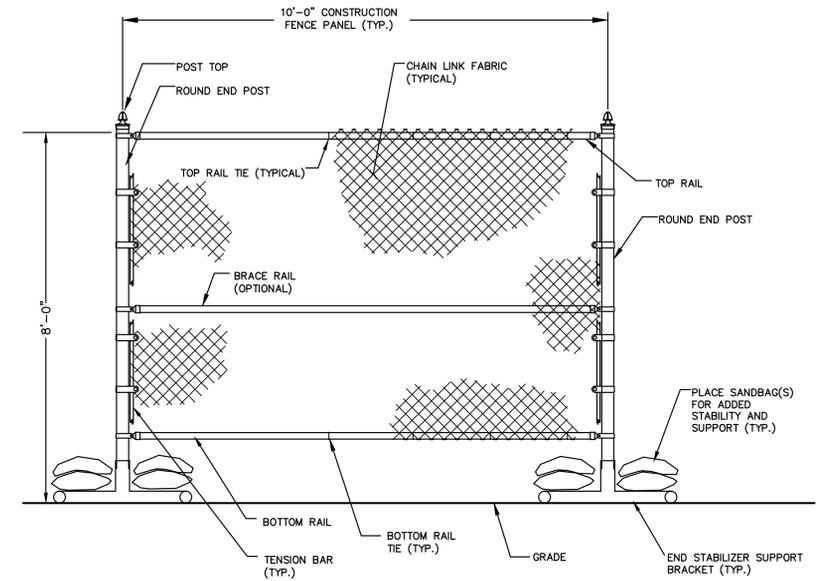
1 TYPICAL BITUMINOUS DRIVEWAY  
C-2.1 N.T.S.



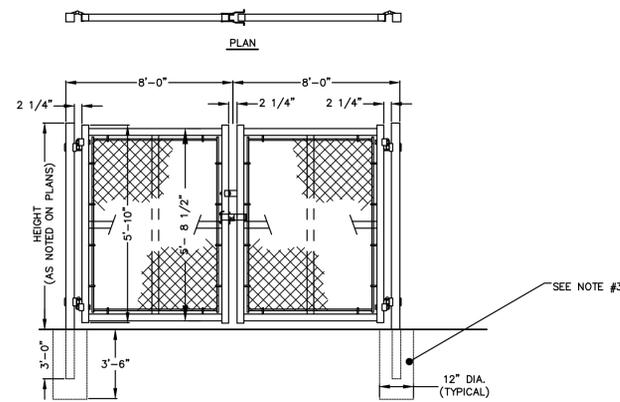
2 TYPICAL BRICK WALKWAY  
C-2.1 N.T.S.



3 TYPICAL WALL/FLOOR PENETRATION  
C-2.1 N.T.S.

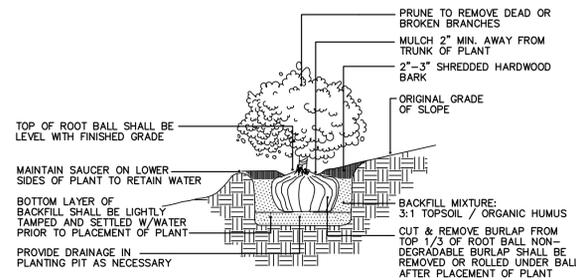


4 TYPICAL PORTABLE CONSTRUCTION CHAIN LINK FENCE  
C-2.1 N.T.S.

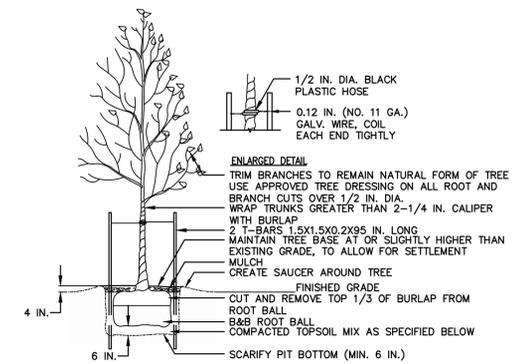


- NOTES:
- GATES SHOULD OPEN TOWARD SITE, AWAY FROM STREET.
  - GATES SHALL HAVE LOCKING MECHANISM THAT CAN BE PADLOCKED.
  - METAL TRIPODS MAY BE USED FOR BOTTOM SUPPORTS INSTEAD OF MOUNTING INTO THE GROUND.
  - MATERIALS, METHODS OF INSTALLATION SHALL BE CONFORM TO \*STATE OF CT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FORM 816 M.10.05 OR CURRENT SPECIFICATION FOR SUCH WORK.

5 TYPICAL DOUBLE LEAF CHAIN LINK FENCE GATE  
C-2.1 N.T.S.



6 TYPICAL SHRUB  
C-2.1 N.T.S.



- NOTES:
- TOPSOIL MIX, SEE SPEC.
  - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
  - WATER THOROUGHLY AFTER INSTALLATION.
  - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION.
  - PROVIDE DRAINAGE FOR PLANTING PIT IN IMPERMEABLE SOIL.
  - ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.

7 TYPICAL DECIDUOUS TREE  
C-2.1 N.T.S.

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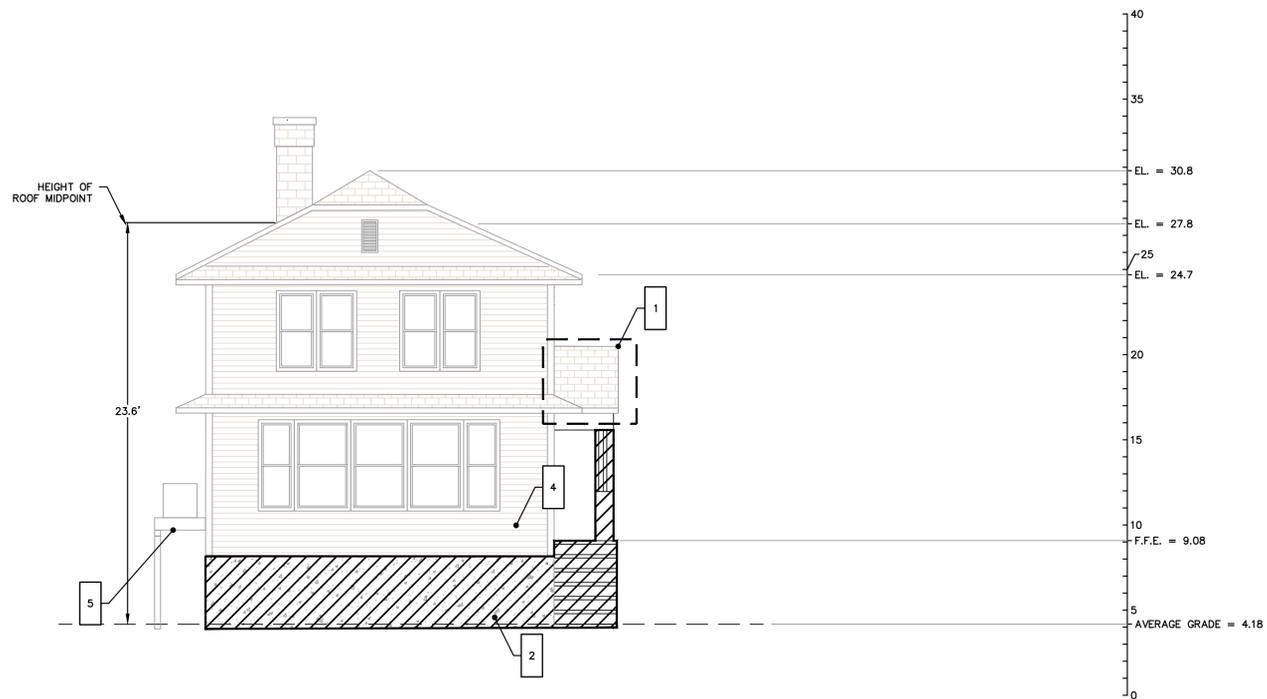
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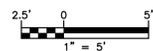
MISCELLANEOUS DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	C-2.1





LEFT ELEVATION



FRONT ELEVATION



**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL MEASUREMENTS. ANY VARIATIONS FROM CONDITIONS SHOWN ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL AND/OR MARTINEZ COUCH AND ASSOCIATES PRIOR TO BIDDING FOR RESOLUTION IN ACCORDANCE WITH CONTRACT DOCUMENT REQUIREMENTS.
2. ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF THE NOTED ITEM.
4. WORK LIMITS SHALL BE AS NOTED. ALL ITEMS DISTURBED BY ANY AND ALL CONSTRUCTION ACTIVITIES SHALL BE RESTORED SUBSTANTIALLY TO THE CONDITION THEY EXISTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO THE PROPERTY OWNER'S SATISFACTION.
5. THE CONTRACTOR AT A MINIMUM SHALL MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AS DIRECTED, AS NECESSARY, AND IN ACCORDANCE WITH CONTRACT REQUIREMENTS, AND SHALL CHECK ALL SYSTEMS ON A DAILY BASIS TO ENSURE THE PREVENTION OF SEDIMENT TRANSPORT AND THE CONTROL OF EROSION.
6. THE LOCATIONS OF SITE UTILITIES ARE UNKNOWN. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PLACE A "CALL BEFORE YOU DIG" (CBYD) REQUEST (PHONE: 1-800-922-4455). THE PROTECTION OF EXISTING UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT HIS EXPENSE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**WORK NOTES**

- 1 SUPPORT AND LIFT FRONT PORCH ROOF WITH HOUSE
- 2 DEMOLISH AND DISPOSE OF OFFSITE EXISTING FOUNDATION, FRONT STEPS AND ALL SUBSURFACE COMPONENTS. CHIMNEY FOUNDATION TO REMAIN
- 3 DEMOLISH AND DISPOSE OF OFF SITE ELEVATED DECK AND SIDE STAIRS
- 4 REMOVE VINYL SIDING AS REQUIRED FOR BUILDING ELEVATION AND SELECTIVE DEMOLITION. STORE SIDING ONSITE FOR REINSTALLATION
- 5 REMOVE AND STORE CONDENSER UNIT ONSITE FOR REINSTALLATION, PROTECT UNIT; DEMOLISH AND REMOVE EXISTING SUPPORT STAND OFFSITE
- 6 DO NOT DISTURB EXISTING GARAGE

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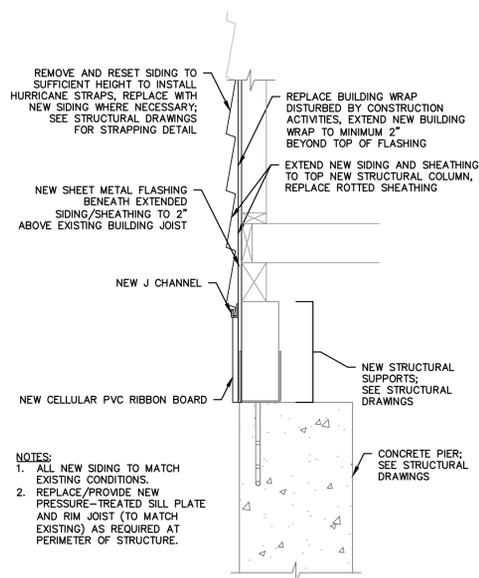
PROJECT 1962  
 36 WESTLAND AVENUE  
 MILFORD, CONNECTICUT 06460

**ISSUED FOR BID  
 NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	11/23/2015	ISSUED FOR BIDDING		MBR	MBR
1	11/13/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL		KNL	MBR
DRAWN: CMP			CHECKED: MBR	APPROVED: REC	SCALE: 1" = 5'
				DATE	11/13/2015

**EXISTING CONDITIONS  
 BUILDING ELEVATIONS**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	A-2.0

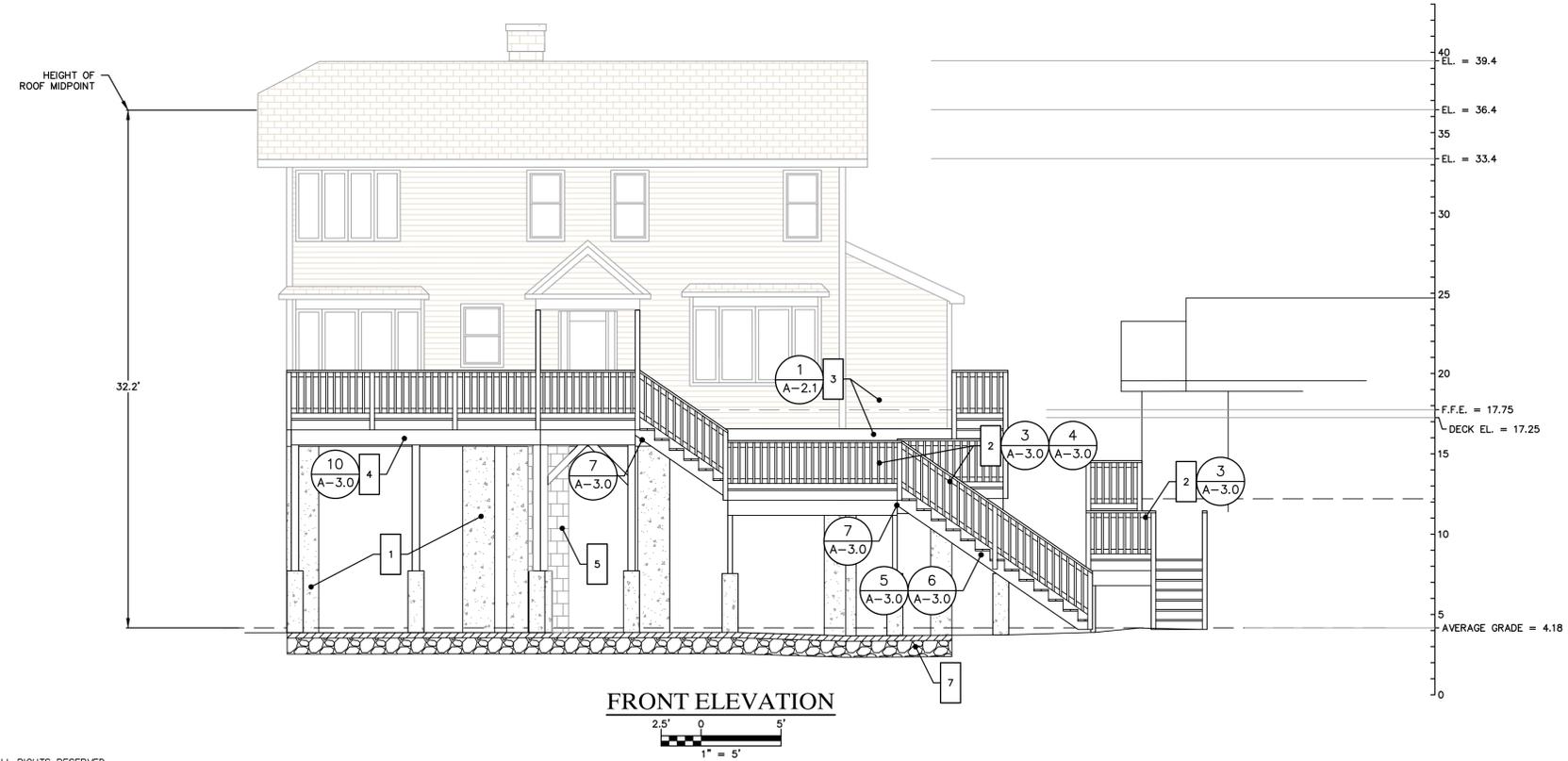


- NOTES:
1. ALL NEW SIDING TO MATCH EXISTING CONDITIONS.
  2. REPLACE/PROVIDE NEW PRESSURE-TREATED SILL PLATE AND RIM JOIST (TO MATCH EXISTING) AS REQUIRED AT PERIMETER OF STRUCTURE.

1 BUILDING SILL SECTION  
A-2.1 1" = 1'-0"



LEFT ELEVATION  
2.5' 0 5'  
1" = 5'



FRONT ELEVATION  
2.5' 0 5'  
1" = 5'

**GENERAL NOTES**

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7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ACTIVITY ON THE SUBJECT PROPERTY.
8. ELEVATIONS SHOWN ON THE DRAWING REFERENCE VERTICAL DATUM NAVD88.

**WORK NOTES**

- 1 NEW FOUNDATION; SEE STRUCTURAL DRAWINGS FOR DETAILS AND BELOW GRADE CONSTRUCTION
- 2 FURNISH AND INSTALL ALL MATERIALS FOR NEW STAIRS AND REBUILT DECK.
- 3 FURNISH AND INSTALL ALL MATERIALS FOR NEW RIBBON BOARD AROUND ENTIRE HOUSE. RESET AND INFILL NEW SIDING AS REQUIRED.
- 4 FURNISH AND INSTALL ALL MATERIALS FOR INSULATION CAVITY AND UTILITY ACCESS CHASE AT BUILDING UNDERSIDE
- 5 FURNISH AND INSTALL ALL MATERIALS FOR CMU FOUNDATION SUPPORT FOR EXISTING CHIMNEY. CONTRACTOR TO SUBMIT DESIGN FOR STRUCTURAL ENGINEER APPROVAL
- 6 REINSTALL A/C CONDENSER UNIT ON NEW CONCRETE STEM WALL; SEE STRUCTURAL DRAWINGS. CONNECT AND COMMISSION A/C SYSTEM.
- 7 FURNISH AND INSTALL ALL MATERIALS FOR NEW CONCRETE SLAB AND 12" THICK CRUSHED STONE BENEATH HOUSE; SEE STRUCTURAL DRAWINGS
- 8 FURNISH AND INSTALL ALL MATERIALS FOR NEW COLUMN UTILITY CHASES. SEE SHEET C-1.3.

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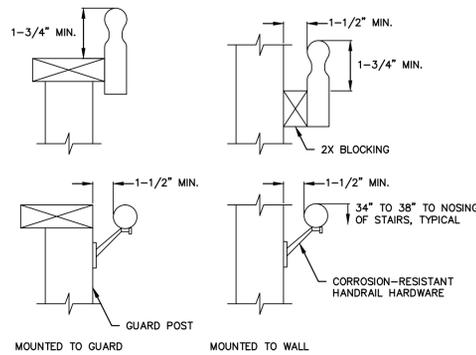
**ISSUED FOR BID  
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS	BY	CHK	APPV
2	11/23/2015	ISSUED FOR BIDDING	MBR	MBR	REC
1	11/13/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL	KNL	MBR	REC

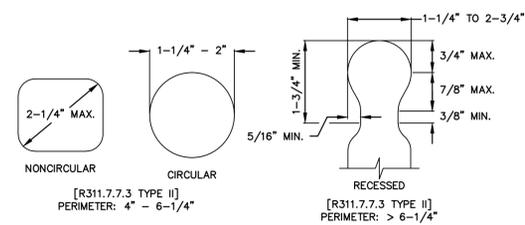
DRAWN: CMP/MBR CHECKED: MBR APPROVED: REC SCALE: AS NOTED DATE 11/13/2015

**PROPOSED CONDITIONS  
BUILDING ELEVATIONS**

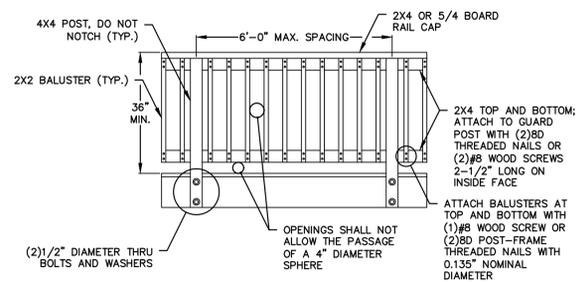
JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	A-2.1



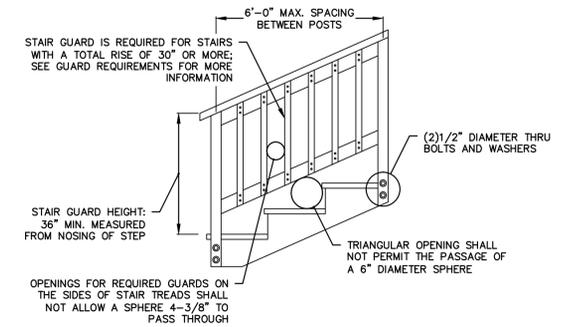
1 TYPICAL HANDRAIL MOUNTING  
A-3.0 N.T.S.



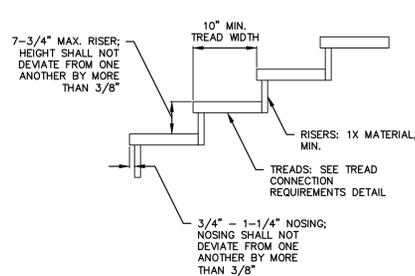
2 TYPICAL HANDRAIL GRIP SIZE  
A-3.0 N.T.S.



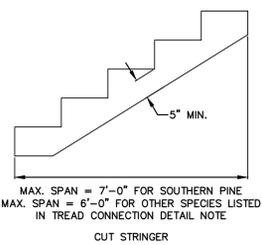
3 TYPICAL DECK RAILING GUARD  
A-3.0 N.T.S.



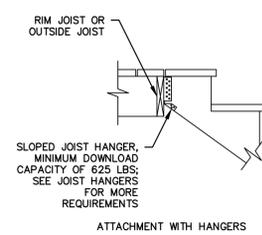
4 TYPICAL STAIR GUARD REQUIREMENTS  
A-3.0 N.T.S.



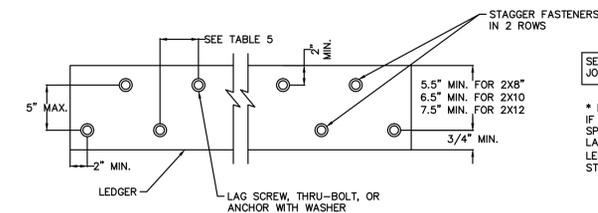
5 TYPICAL TREAD AND RISER  
A-3.0 N.T.S.



6 TYPICAL STAIR STRINGER REQUIREMENTS  
A-3.0 N.T.S.



7 TYPICAL STAIR STRINGER ATTACHMENT  
A-3.0 N.T.S.



THRU-BOLTS:

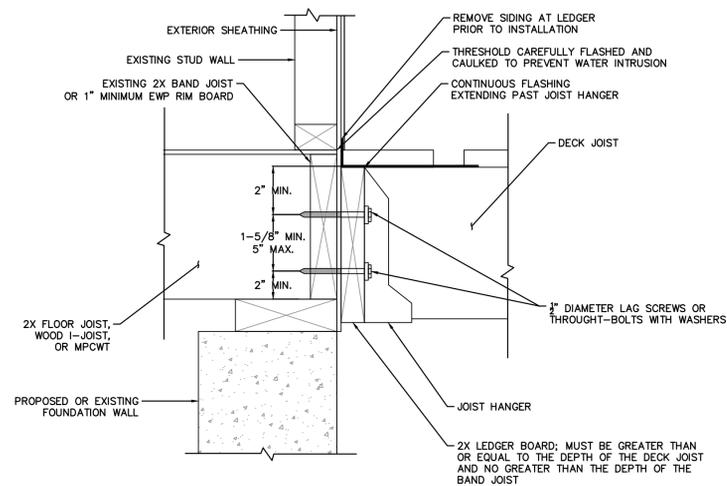
THRU-BOLTS SHALL HAVE A DIAMETER OF 1/2\"/>

EXPANSION AND ADHESIVE ANCHORS:  
USE APPROVED EXPANSION OR ADHESIVE ANCHORS WHEN ATTACHING A LEDGER BOARD TO A CONCRETE OR SOLID MASONRY WALL AS SHOWN IN FIGURE 15 OR A HOLLOW MASONRY WALL WITH A GROUTED CELL AS SHOWN IN FIGURE 16. EXPANSION AND ADHESIVE ANCHOR BOLTS SHALL HAVE A DIAMETER OF 1/2\"/>

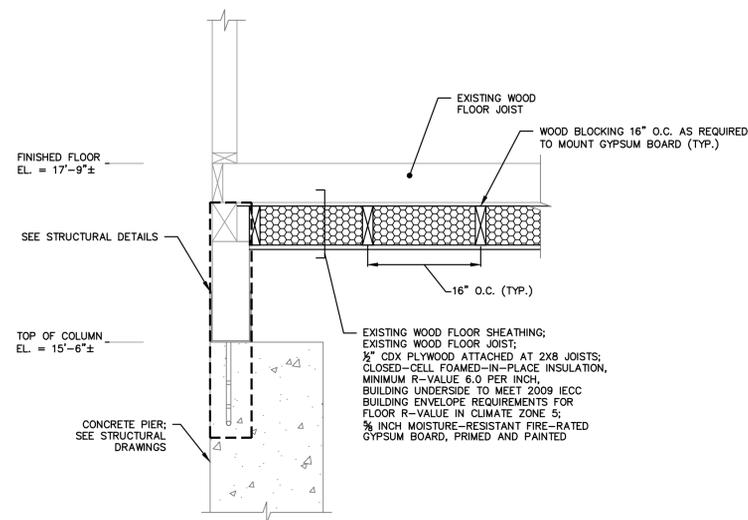
MINIMUM SPACING AND EMBEDMENT LENGTH SHALL BE PER THE MANUFACTURE'S RECOMMENDATIONS. ALL ANCHORS MUST HAVE WASHERS.

LAG SCREWS:  
LAG SCREWS SHALL HAVE A DIAMETER OF 1/2\"/>

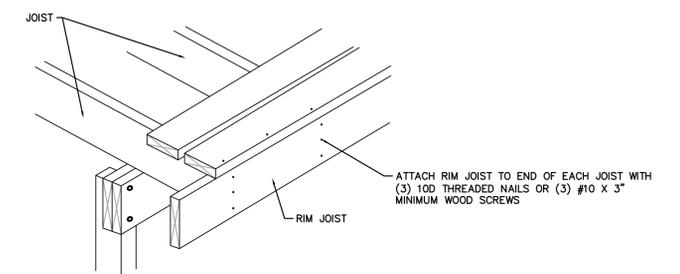
8 TYPICAL LEDGER BOARD FASTENER SPACING AND CLEARANCE  
A-3.0 N.T.S.



9 TYPICAL GENERAL ATTACHMENT OF LEDGER  
A-3.0 N.T.S.



10 TYPICAL FLOOR CAVITY INSULATION DETAIL  
A-3.0 1\"/>



11 TYPICAL RIM JOIST CONNECTION  
A-3.0 N.T.S.

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2	11/23/2015	ISSUED FOR BIDDING		MBR	MBR
1	11/13/2015	ISSUED FOR CT DOH REVIEW AND APPROVAL		KNL	MBR
1	DATE	REVISIONS	BY	CHK	APPV
DRAWN: KNL		CHECKED: MBR	APPROVED: REC	SCALE: AS NOTED	DATE: 11/13/2015

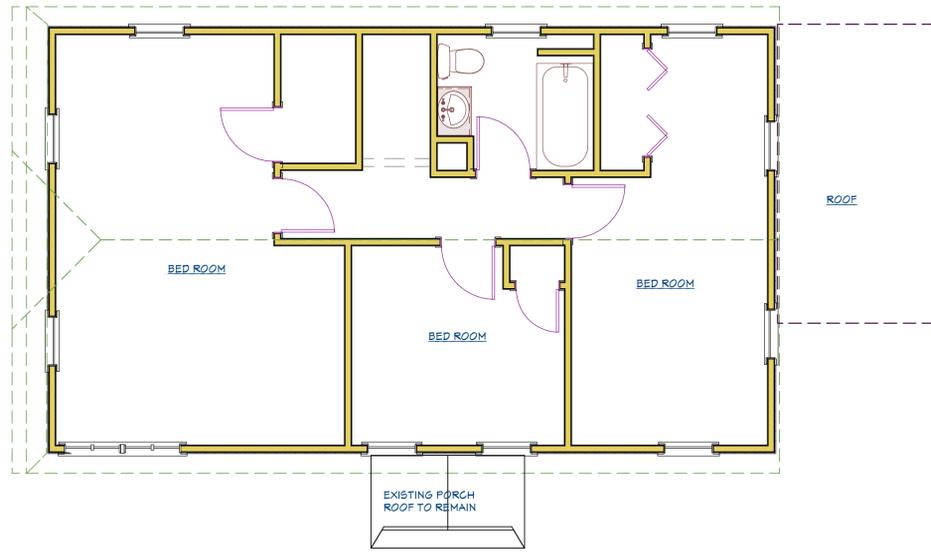
DECK AND STAIR DETAILS

JOB NO.	DRAWING NUMBER	SHEET
33-262-1962	BASEMAP 33-262-1962.dwg	A-3.0

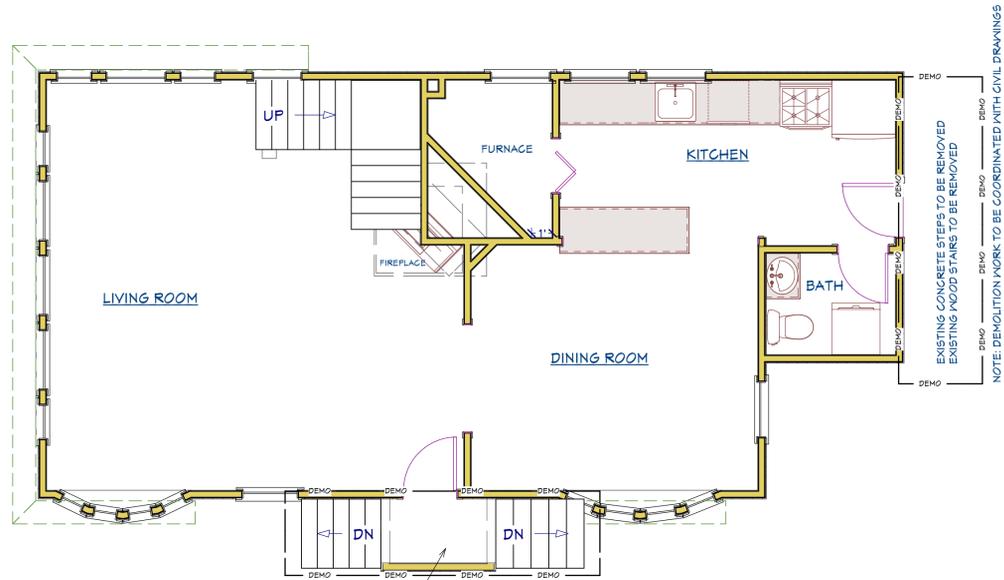
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD (lb)	WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	CLIMATE ZONE
	SPEED (mph)	TOPOGRAPHIC EFFECTS		WEATHERING	FROST LINE DEPTH	TERMITE	DECAY						
30 PSF	100	EXPOSURE B	B	SEVERE	42" BELOW GRADE	MODERATE TO HEAVY	SLIGHT TO MODERATE	7 deg. F	YES	LOCAL MAPS	1500 OR LESS	50 deg. F	5A

CODE INFORMATION	
<b>BUILDING:</b> 2005 STATE BUILDING CODE 2005 CONNECTICUT SUPPLEMENT w/ 2013 AMENDMENT 2009 INTERNATIONAL RESIDENTIAL CODE 2009 INTERNATIONAL ENERGY CONSERVATION CODE w/ CONNECTICUT AMENDMENTS GROUP R-3 - SINGLE FAMILY BUILDING CONSTRUCTION TYPE: VB	<b>ZONING:</b> CITY OF MILFORD ZONING REGULATIONS REVISED: 8-1-2011 LOCATION: MBLU - 28/ 572/ 1/1 ZONING DISTRICT: R-5 100 YR. FLOOD ZONE / BFE: AE11 500 YR. FLOOD ELEV.: BFE x 1.25 = 13.75' DESIGN FLOOD ELEVATION: BFE + 1.0' FREEBOARD = 14.75'

- GENERAL PROJECT NOTES:**
- CONTRACTOR SHALL ASSUME RESPONSIBILITY OF REVIEWING AND UNDERSTANDING ALL INFORMATION INCLUDED WITHIN THE CONSTRUCTION DOCUMENTS. MCA, DESIGNER, AND ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY UNDEFINED OR QUESTIONABLE INFORMATION.
  - CONTRACTOR SHALL CONFIRM AND VERIFY ALL PROPOSED AND EXISTING CONDITIONS AND DIMENSIONS IN FIELD. OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY INCONSISTENCIES PRIOR TO COMMENCEMENT OF WORK.
  - MODIFICATIONS OF THE PROPOSED DESIGN OR DETAILS INCLUDED WITHIN THE DOCUMENTS SHALL NOT BE PERMITTED WITHOUT WRITTEN CONSENT AND SUPERVISION OF THE ENGINEER AND MCA.
  - SUBSTITUTIONS OF SPECIFIED ITEMS WITHIN THESE DOCUMENTS ARE ACCEPTED ONLY AS APPROVED BY THE DESIGNER AND OWNER. ALL PROPOSED SUBSTITUTIONS SHALL BE IN WRITTEN FORM, INCLUDING Mfg's CUTS, BACK-UP INFORMATION, AND COST DATA, FOR COMPARISON AND REVIEW.
  - PLAN DIMENSIONS ARE TO FACE OF FRAMING MATERIALS, UNLESS OTHERWISE NOTED.
  - ALL REFERENCES TO DIMENSIONS OF FLOOR LINES ARE TAKEN FROM TOP OF CONCRETE OR SUBFLOOR, UNLESS NOTED ON PLAN.
  - IMMEDIATELY AFTER THE AWARDING OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT A COMPLETE CONSTRUCTION SCHEDULE AND LIST OF SUBCONTRACTORS. SCHEDULE SHALL BE IN A BAR CHART FORM WITH EACH TRADE'S WORK OUTLINED AND SHOWN IN DAYS AND WEEKS BY PHASE.
  - GENERAL CONTRACTOR SHALL BE PRESENT ON THE JOB SITE AT ALL TIMES WHILE ANY CONSTRUCTION WORK IS IN PROGRESS. NO SUBCONTRACTOR WORK SHALL COMMENCE WITHOUT THE CONTRACTORS KNOWLEDGE.
  - CONTRACTOR SHALL LOCATE AND DOCUMENT ALL EXISTING UNDERGROUND AND OVERHEAD UTILITY SERVICES ON SITE PRIOR TO COMMENCEMENT OF ANY DEMOLITION AND EXCAVATION WORK. CONTRACTOR SHALL ARRANGE TIMES AND DATES OF ANY WORK NEEDED TO BE DONE BY ANY UTILITY COMPANY IN ORDER TO COMPLETE CONTRACTORS WORK. SHOULD UNCHARTED OR INCORRECTLY CHARTED PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT MCA IMMEDIATELY FOR DIRECTION. COOPERATE WITH OWNER AND UTILITY COMPANIES IN KEEPING RESPECTIVE SERVICES AND FACILITIES IN OPERATION. REPAIR DAMAGED UTILITIES TO SATISFACTION OF UTILITY COMPANY, LOCAL BUILDING CODES, AND MCA.
  - CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE SAFETY OF CONSTRUCTION WORKERS. CONTRACTOR AND SUBCONTRACTORS SHALL IDENTIFY AND MAINTAIN PROPER COMPREHENSIVE AND AUTOMOBILE LIABILITY AND WORKMEN'S COMPENSATION INSURANCE COVERAGE THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. CONTRACTOR SHALL PROVIDE COPIES OF INSURANCE TO OWNER.
  - CONTRACTOR SHALL PROVIDE PROPER PROTECTION AND EXECUTE HIS WORK IN SUCH A MANNER THAT NO INJURY WILL OCCUR TO THE PUBLIC AND NO DAMAGE WILL OCCUR TO THE EXISTING CONSTRUCTION, ADJACENT PROPERTIES, UTILITY SERVICES, STREET CONSTRUCTION, AND LANDSCAPING. PROVIDE ALL SIGNAGE, BARRIERS, AND LIGHTING REQUIRED FOR PUBLIC SAFETY. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING/REPLACING ANY SUCH DAMAGES.
  - PROVIDE ALL NECESSARY BARRIERS AND STRUCTURES REQUIRED TO KEEP ADJACENT SPACES AND PROPERTIES DUST AND DEBRIS FREE. CONTRACTOR SHALL REMOVE DEBRIS AND BROOM CLEAN THE WORK SITE AT THE END OF EACH WORK DAY.
  - MAINTAIN ALL REQUIRED LOCAL FIRE DEPARTMENT VEHICLE AND EQUIPMENT ACCESS CLEARANCES. CONTRACTOR SHALL HAVE A WORKING FIRE EXTINGUISHER ON SITE AT ALL TIMES.
  - CONTRACTOR SHALL PROVIDE AND MAINTAIN SECURITY OF BUILDING, CONSTRUCTION MATERIALS, FIXTURES, APPLIANCES, AND EQUIPMENT BELONGING TO EITHER THE CONTRACTOR OR OWNER DURING AND AFTER WORKING HOURS.
  - CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE, PROVIDING CLEAR ACCESS TO AND FROM EMERGENCY EXITS AND OWNER OCCUPIED AREAS DURING ALL PHASES OF CONSTRUCTION.
  - CONTRACTOR SHALL COOPERATE TO MINIMIZE CONSTRUCTION NOISE AND DISTURBANCES DURING PERIODS DETERMINED BY MCA AND ADJACENT PROPERTY TENANTS.
  - PROPERLY SEAL AND FIRE STOP ALL OUTLETS, SWITCHES, PIPE, DUCTWORK, CONDUIT, AND OTHER BUILDINGS COMPONENTS THAT PENETRATE FLOORS, ROOF, EXTERIOR WALLS, CEILINGS, AND PARTITION WALLS IN ACCORDANCE WITH LOCAL AND STATE BUILDING CODES.
  - ALL ELECTRICAL TELEPHONE, AND DATA CABLES, MATERIALS, WIRE, AND SYSTEMS EQUIPMENT SHALL BE PROVIDED BY THIS CONTRACTOR UNLESS DIRECTED OTHERWISE BY MCA.
  - ALL PLUMBING MATERIALS AND ACCESSORIES SHALL BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY AND PROVIDE ANY FRAMING REINFORCING AS REQUIRED FOR INSTALLATION.
  - LICENSED CONTRACTORS TO THE TRADE SHALL PERFORM ALL PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION AND INSTALLATIONS. ALL WORK SHALL CONFORM TO AND BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
  - NO EQUIPMENT, BUILDING OR FINISH MATERIAL SHALL BE CHANGED OR SUBSTITUTED WITHOUT WRITTEN DOCUMENTATION SIGNED BY THE OWNER.
  - ALL SPECIFIED PRODUCTS SHALL BE NOTED AS PREFERRED OR AN APPROVED EQUAL.



**2**  
**S-1** **EXISTING - SECOND FLOOR PLAN**  
1/4" = 1'-0"



EXISTING CONCRETE STEPS TO BE REMOVED  
EXISTING PORCH RAILING TO BE REMOVED  
EXISTING PORCH SUPPORT POST TO BE REMOVED  
NOTE: DEMOLITION WORK TO BE COORDINATED WITH CIVIL DRAWINGS

**1**  
**S-1** **EXISTING- FIRST FLOOR PLAN**  
1/4" = 1'-0"



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**CODE INFORMATION**  
**GENERAL NOTES**  
**EXISTING FLOOR PLANS**

**JLG Designs, LLC**  
INTERIORS • BUILDING DESIGN • ENGINEERING  
Milford, Connecticut 06460 Phone: 203-876-2095  
E-mail: jlg-design@jumo.com

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1	10-13-2015	ALTERNATE DECK				
2	11-22-2015	Proposed DECK Revised Layout				
NO. DATE REVISIONS BY CHK APPV						
DRAWN:	JLG	CHECKED:	APPROVED:	SCALE:	DATE:	
				AS NOTED	8-24-2015	

**PROJECT 1962**  
**36 WESTLAND AVENUE**  
**MILFORD, CT 06460**

JOB NO.	DRAWING NUMBER	SHEET
33-262-1962		<b>S-1</b>

**FOUNDATION NOTES AND SPECIFICATIONS**

**CONCRETE MATERIALS:**

1. FOOTINGS AND WALLS: CONCRETE USED IN FOUNDATION ALLS, FOOTINGS, AND SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 psi AT 28 DAYS.
2. NO ADDED WATER ALLOWED IN EXCESS OF APPROVED MIX.
3. AIR ENTRAINMENT: MIN. 5% MAX. 7%.
4. MAXIMUM WATER SOLUBLE CHLORIDE ION CONCENTRATIONS IN HARDENED CONCRETE SHALL NOT EXCEED 0.30 PERCENT (0.003) BY WEIGHT OF CEMENT. THIS INCLUDES, BUT IS NOT LIMITED TO, CONTRIBUTIONS FROM WATER, AGGREGATES, CEMENTITIOUS MATERIALS, AND ADMIXTURES. CALCIUM CHLORIDE OR ANY ADMIXTURE CONTAINING CHLORIDE SALTS SHALL NOT BE USED IN CONCRETE.

**REINFORCING:**

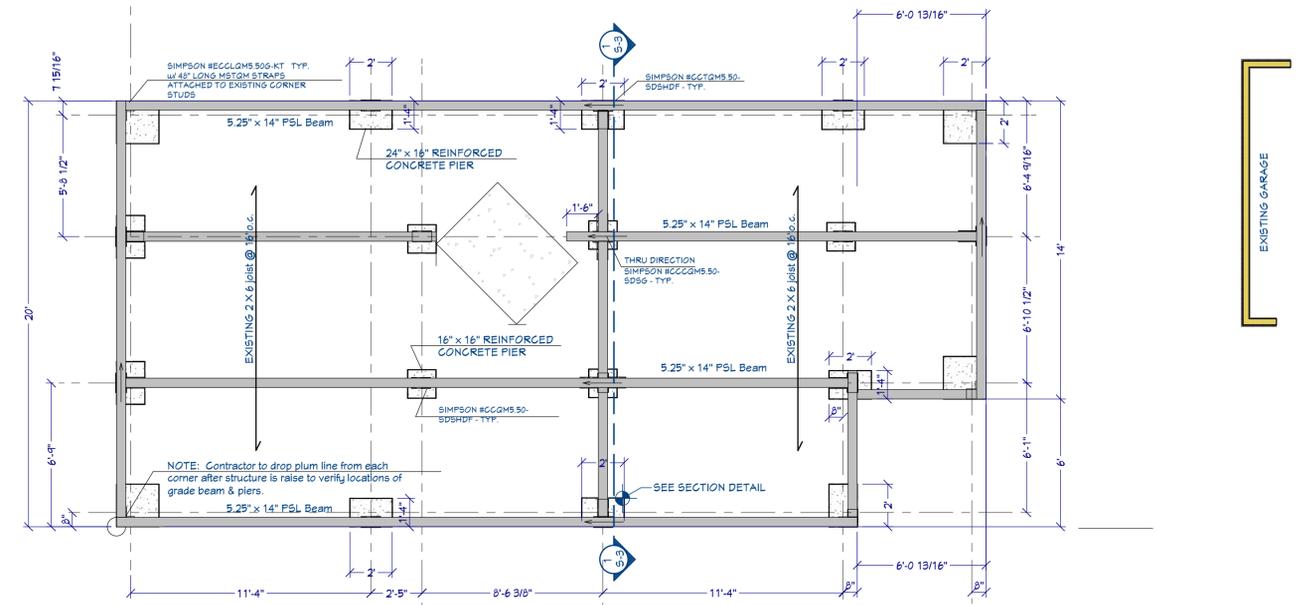
1. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED STRUCTURES (A.C.I. 318-05)
2. EPOXY COATED REINFORCING STEEL SHALL CONFORM TO ASTM A615 AND BE 60,000psi YIELD STRENGTH.
3. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
4. ALL REINFORCEMENT SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED. SPLICES SHALL BE WELL STAGGERED. ADDITIONAL BARS AND SPECIAL BENDING DETAILS ARE REQUIRED AT INTERSECTING WALLS AND AT JOINTS. SUCH DETAILS SHALL COMPLY WITH ACI 315 RECOMMENDATIONS UNLESS OTHERWISE APPROVED.
5. UNLESS OTHERWISE NOTED, ALL LAP SPLICES SHALL BE CLASS "C". SEE ACI 315 FOR TABULATION OF DEVELOPMENT AND SPLICE LENGTHS.
6. REINFORCEMENT COVER UNLESS OTHERWISE NOTED: FOOTING AT BOTTOM 3" TOP 2"; WALLS/BEAMS AT 2" EACH FACE; PIERS AT 1.5" TO TIES

**CONCRETE PLACEMENT:**

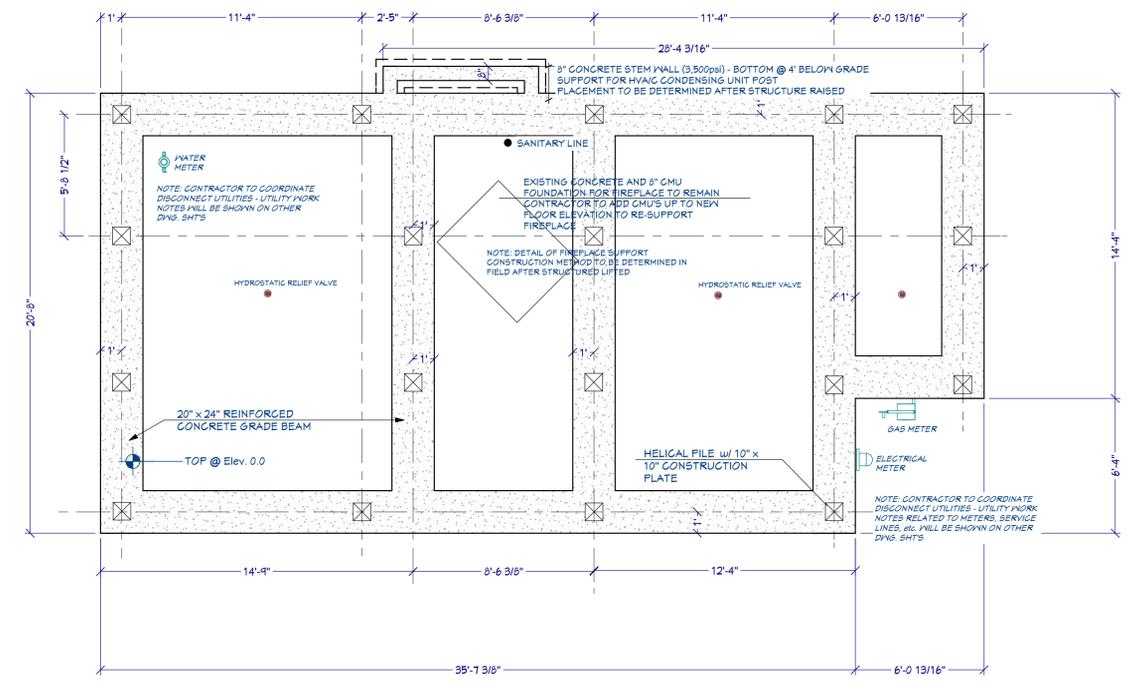
1. ALL FOOTINGS ARE TO REST ON FIRM UNDISTURBED SOIL, REGARDLESS OF ELEVATIONS SHOWN ON DRAWINGS. ALL "TOP" (TOP OF FOOTING) ELEVATIONS ARE INDICATED ON THE FOUNDATION PLAN. ALL ELEVATIONS ARE GIVEN WITH RESPECT TO THE BENCH MARK ELEVATION. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 42" BELOW FINISHED GRADES.
2. PENETRATE EACH SUCCESSIVE LAYER WITH VIBRATOR IN ORDER TO ELIMINATE VOIDS AND "COLD JOINTS"
3. WHERE STEP FOOTINGS ARE REQUIRED, SLOPE EXCAVATION FOR BOTTOM OF FOOTINGS AT THE RATE OF 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL.
4. ALL REINFORCEMENT SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED. SPLICES SHALL BE WELL STAGGERED. ADDITIONAL BARS AND SPECIAL BENDING DETAILS ARE REQUIRED AT INTERSECTING WALLS AND AT JOINTS. SUCH DETAILS SHALL COMPLY WITH ACI 315 RECOMMENDATIONS UNLESS OTHERWISE APPROVED.
5. UNLESS OTHERWISE NOTED, ALL LAP SPLICES SHALL BE CLASS "C". SEE ACI 315 FOR TABULATION OF DEVELOPMENT AND SPLICE LENGTHS.
6. VERTICAL CONSTRUCTION JOINT SPACING IN FOUNDATION WALLS SHALL NOT EXCEED 35' INTERMEDIATE SPACING NOR 20' FROM ANY CORNER OR INTERSECTING WALL. JOINTS SHALL BE KEYED. HORIZONTAL REINFORCEMENT SHALL EXTEND THROUGH JOINTS.
7. SHEAR KEYS (1 1/2" x 3") SHALL BE PROVIDED IN ALL CONCRETE WALLS AND BETWEEN FOOTINGS AND WALLS.
8. CONTROL JOINTS IN SLAB ON GRADE ARE TO BE PROVIDED AT COLUMN LINES AND AT SLAB CORNERS. SAW CUT 1/8" WIDE AND TO DEPTH EQUAL TO 1/4 OF SLAB THICKNESS. CONSTRUCTION JOINTS AS REQUIRED SHALL BE KEYED AND LOCATED AT CONTROL JOINT INTERVALS.
9. WALL AND SLAB SURFACES SHALL BE SEALED WITH A RESIN BASE CURING/SEALING COMPOUND CONFORMING TO ASTM C309. APPLY CURING COMPOUND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
10. BUILD INTO CONCRETE ALL PRODUCTS SO SPECIFIED AND INDICATED. COORDINATE WITH OTHER TRADES.

**HELICAL SCREW PILE SPECIFICATION:**

1. HELICAL PIERS SHALL BE MANUFACTURED BY THE A.B. CHANCE CO. OR EQUAL
2. PIERS SHALL BE INSTALLED BY A MFG'S AUTHORIZED AND REGISTERED CT. CONTRACTOR
3. HELICAL PIERS SHALL BE FURNISHED AND INSTALLED TO ACHIEVE AN ULTIMATE BEARING CAPACITY OF 40 KIPS COMPRESSION. THE DESIGN CAPACITY OF THE PIERS IS 20 KIPS PROVIDING A FACTOR OF SAFETY OF 2.
4. PIERS SHALL BE CAPABLE OF PROVIDING A LATERAL RESISTANCE OF 1.5 KIP EACH
5. CONTRACTOR SHALL SUBMIT FOR REVIEW, CALCULATIONS INDICATING THE MINIMUM PILE DEPTH, HELIX DIAMETER AND REQUIRED TORQUE TO ACHIEVE THE REQUIRED LOAD BASE UPON THE SOIL BORING REPORT.
6. ALL WORK AS DESCRIBED HEREIN SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES IN EFFECT AT TIME OF INSTALLATION.
7. A SIGNED & SEALED EVALUATION REPORT WITH ASSIGNED NUMBERS SHALL BE PROVIDED UPON INSTALLATION TO MCA, BUILDING DEPARTMENT, AND PROJECT ENGINEER.
8. THE HELICAL LEAD SECTIONS AND EXTENSIONS SHALL BE SOLID STEEL, ROUND CORNERED SQUARE SHAFT, OR ROUND STEEL PIPE SHAFT, OR COMPOSITE STEEL AND GROUT SHAFT CONFIGURED WITH ONE OR MORE HELICAL BEADING PLATES WELDED TO THE SHAFT.
9. ALL PIERS MUST BE CORROSION PROTECTED BY HOT DIP GALVANIZATION.
10. INSTALLATION UNITS:
  - A. SHALL CONSIST OF A ROTARY TYPE TORQUE POWERED MOTOR WITH FORWARD & REVERSE CAPABILITIES
  - B. CAPABLE OF DEVELOPING THE MINIMUM TORQUE AS REQUIRED.
  - C. CAPABLE OF POSITIONING THE HELICAL PIER AT THE PROPER INSTALLATION ANGLE. THIS ANGLE MAY VARY BETWEEN VERTICAL AND 5 DEGREES DEPENDING UPON APPLICATION AND TYPE OF LOAD TRANSFER DEVICE SPECIFIED OR REQUIRED.
11. INSTALLATION TORQUE SHALL BE MONITORED THROUGH OUT THE INSTALLATION PROCESS. CONTRACTOR TO MAINTAIN A WRITTEN INSTALLATION RECORD FOR EACH HELICAL PILE
12. HELICAL PIERS SHALL BE INSTALLED TO THE MINIMUM TORQUE VALUE REQUIRED TO PROVIDE THE LOAD CAPACITIES SHOWING ON THE PLANS.



**1**  
**S-2** **FIRST STORY FRAMING PLAN**  
1/4" = 1'-0"



**2**  
**S-2** **HELICAL PILE / GRADE BEAM PLAN**  
1/4" = 1'-0"



1084 Cromwell Avenue, Suite A-2  
Rocky Hill, Connecticut 06067  
Telephone: (860) 436-4364  
Fax: (860) 436-4626  
[www.martinezcouch.com](http://www.martinezcouch.com)

**FOUNDATION NOTES**  
**HELICAL PILE / GRADE BEAM PLAN**  
**FIRST STORY FRAMING PLAN**

**JLG Designs, LLC**  
INTERIORS • BUILDING DESIGN • ENGINEERING  
Milford, Connecticut 06460 Phone: 203-876-2095  
E-mail: [jlg-design@jumo.com](mailto:jlg-design@jumo.com)

1	10-13-2015	ALTERNATE DECK																			
2	11-22-2015	Proposed DECK Revised Layout																			
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**PROJECT 1962**  
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# DECK & EXTERIOR STAIR NOTES & DETAILS

## GENERAL NOTES:

THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

## STAIR CONSTRUCTION NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCR OACH A MAX. OF 4 1/2" INTO THE REQUIRED WIDTH ON EITHER SIDE OF THE STAIRWAY.

TREADS SHALL HAVE A MIN. DEPTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM MEASURED AT THE NOSE OF EACH TREAD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

36" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 5" o.c.

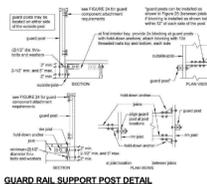
THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS.

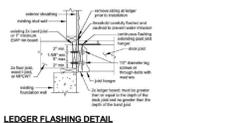
RISERS SHALL HAVE A MAX. HEIGHT OF 8" - RISERS MUST BE UNIFORM IN HEIGHT AND CAN NOT VARY FROM THE HIGHEST TO THE LOWEST BY MORE THAN 3/8"



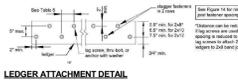
HANDRAIL TYPE DETAILS



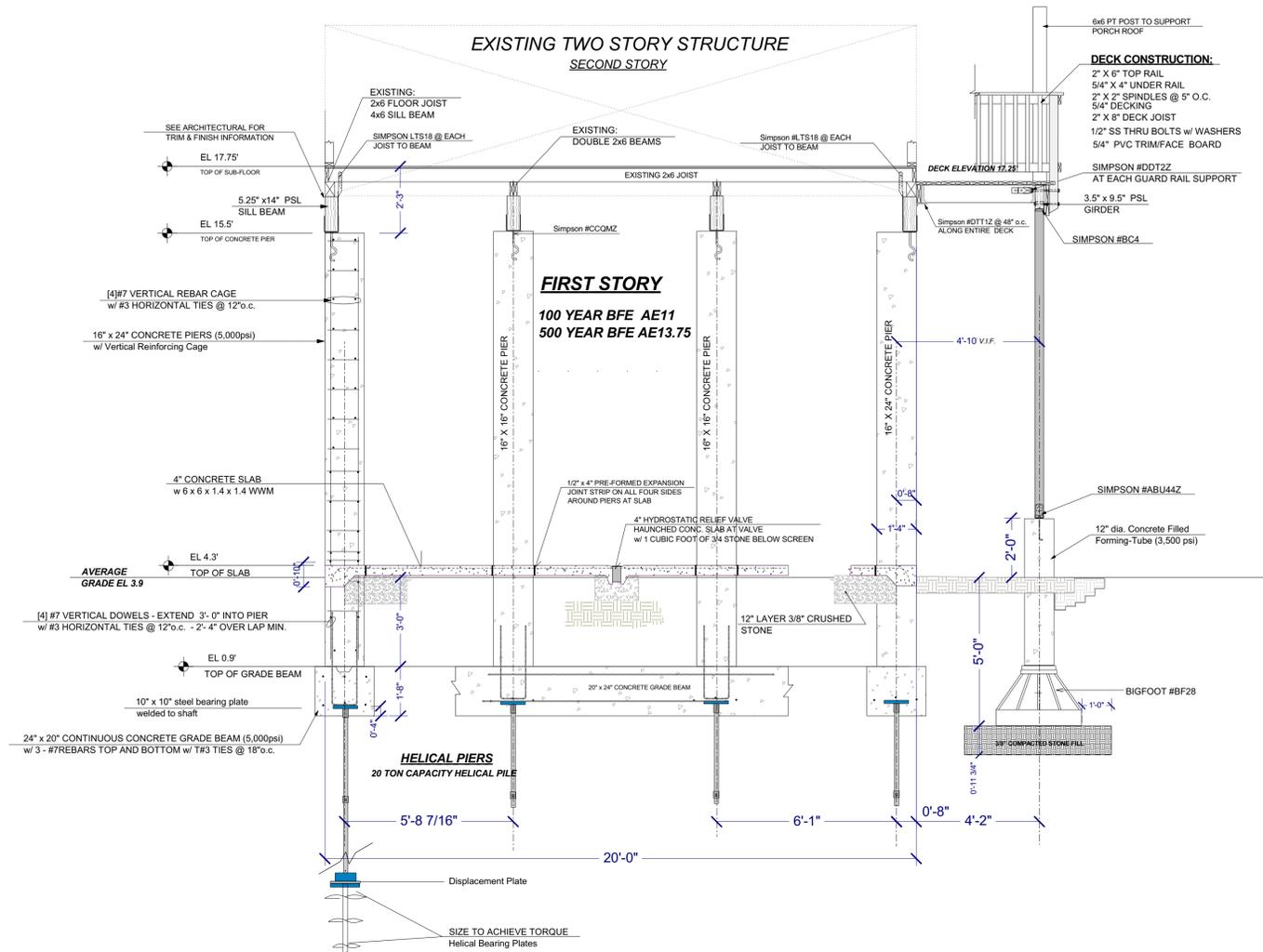
GUARD RAIL SUPPORT POST DETAIL



LEDGER FLASHING DETAIL



LEDGER ATTACHMENT DETAIL



**1**  
**S-3** DECK DETAILS  
N.T.S.

**1**  
**S-3** SECTION - HELICAL PILE / GRADE BEAM  
3/8" = 1'-0"



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Rocky Hill, Connecticut 06067  
Telephone: (860) 436-4364  
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DECK STAIR INFORMATION  
DECK CONSTRUCTION DETAILS  
FOUNDATION SECTION

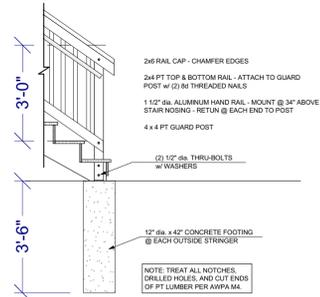
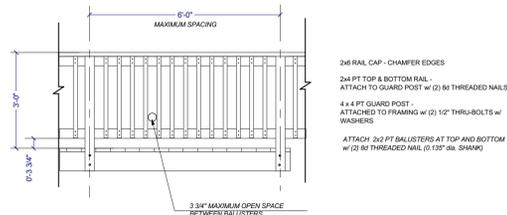
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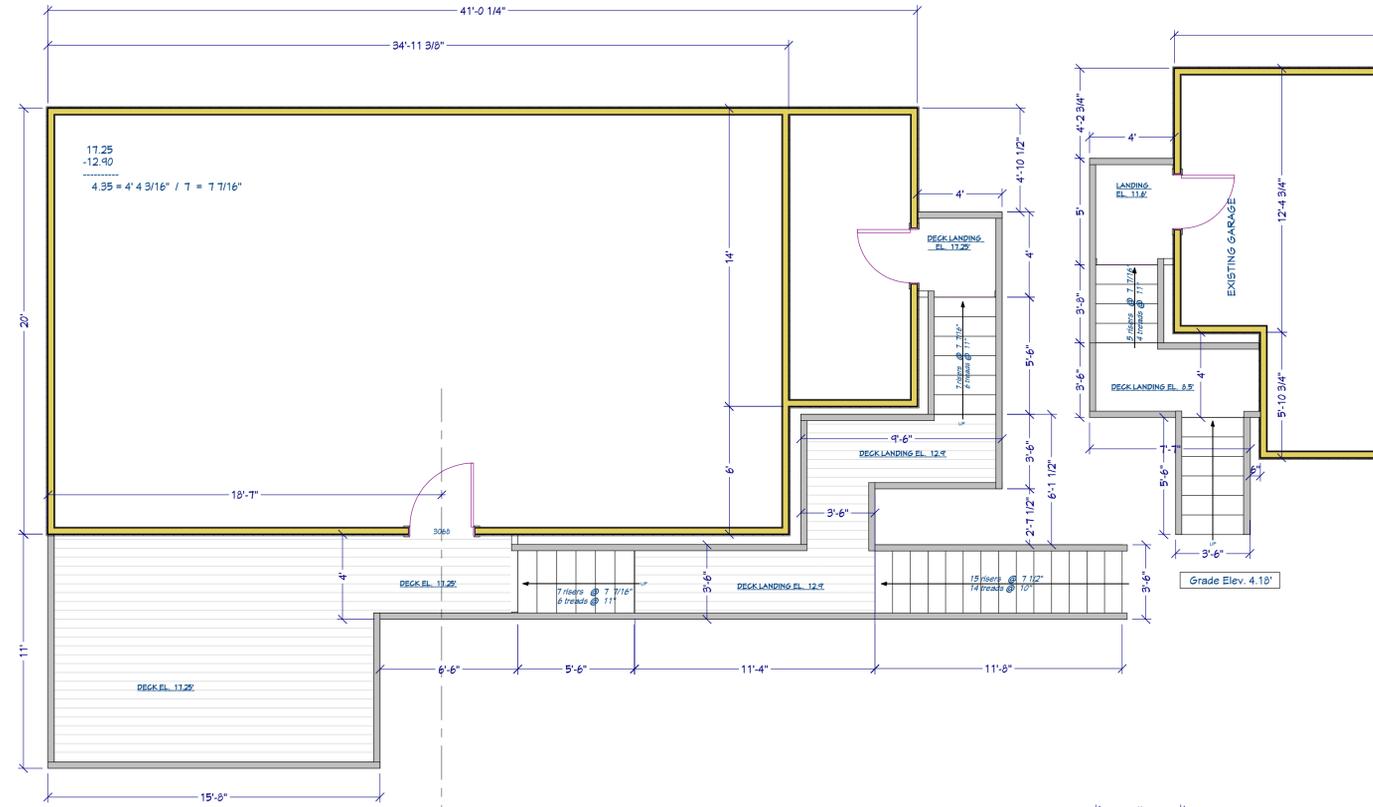
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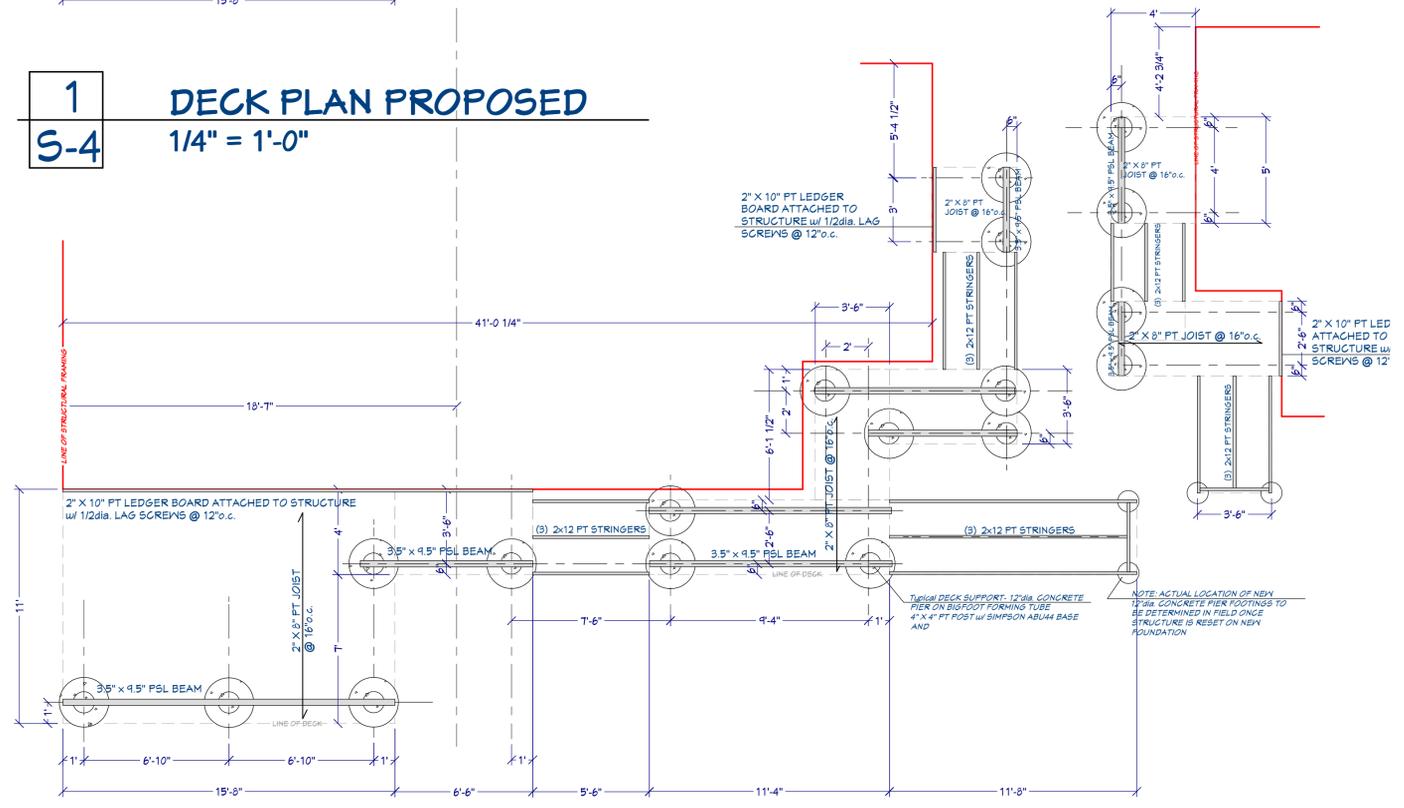
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**3**  
**S-4** **DECK DETAILS**  
3/8" = 1'-0"



**1**  
**S-4** **DECK PLAN PROPOSED**  
1/4" = 1'-0"



**4**  
**S-4** **DECK FRAMING**  
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