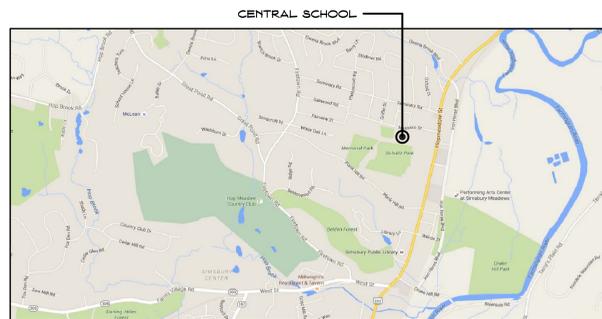


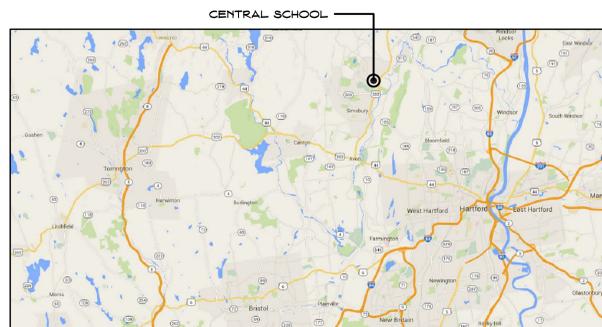
Partial Roof Replacement For: Simsbury Board of Education

Central School

29 Massaco Street, Simsbury, Connecticut. 06070-2118

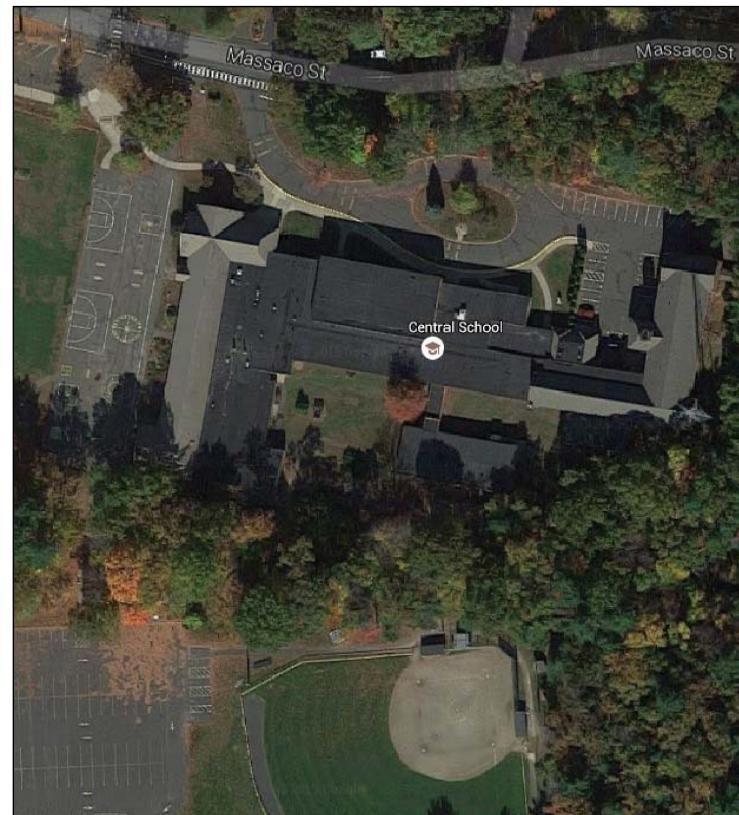


VICINITY MAP
SCALE: NONE



SITE LOCATION MAP

SCALE: NONE



DRAWING LIST:

- CS - Cover Sheet
- C1 - Code Information
- A1 - PART "A"
Partial Roof Plan "A" &
General Information
- A2 - PART "B"
Partial Roof Plan "B" &
General Information
- A3 - ADD ALTERNATE
Partial Roof Plan &
General Information
- A4 - Roof Details
- A5 - Roof Details
- HM1 - Hazardous Materials
Abatement Roof Plan



SILVER / PETRUCCELLI + ASSOCIATES
Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucelli.com

State Project Number: TMP-128-JFFZ

29th JANUARY, 2016
Issued for Bid: April 4, 2016

CODE INFORMATION:

USE GROUP : E & 3A
 CONSTRUCTION CLASS: 3B/3B
 BASIC WIND SPEED: 140 MPH
 SURFACE ROUGHNESS EXPOSURE: B
 BC IMPORTANCE FACTOR (SHOW): 1.40
 BC IMPORTANCE FACTOR (SEISMIC): 1.25
 BC IMPORTANCE FACTOR (WIND): 1.15

FACTORY MUTUAL ENGINEERS &
 RESEARCH CORPORATION (FM GLOBAL):
 ROOF ASSEMBLY CLASSIFICATION OF
 NON-COMBUSTIBLE CONSTRUCTION, WIND
 UPLIFT REQUIREMENT OF 160 FOR FIELD,
 190 FOR PERIMETER, & 120 FOR
 CORNICE IN ACCORDANCE WITH
 PROPERTY LOSS PREVENTION DATA
 SHEETS 1-28

IMC GUARD RAILS • APPLIANCES, EQUIPMENT,
 FANS OR OTHER COMPONENTS THAT REQUIRE
 SERVICE

NEC ARTICLES FOR ROOF TOP DISCONNECT
 SWITCHES & GFCI RECEPTACLES

ENERGY CONSERVATION:

IECC CODE REQUIREMENT R-VALUE TOTAL
 CONNECTICUT ZONE 5A
 IECC REQUIREMENT: U' 0.42 OR LESS
 R-24 OR MORE
 (U' IS BASED ON THE ROOFING ASSEMBLY)

ROOFS: "A" & "B"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
1/4" PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 6 1/2" POLYISO INSUL.	37.44
1" FIBER INSULATION BOARD	4.00
3" GYPSUM DECKING	2.21
INSIDE AIR	0.61
R TOTAL:	57.98
U' TOTAL:	0.017

ROOF: "D"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
1/4" PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 2 1/2" POLYISO INSUL.	14.25
1" FIBER INSULATION BOARD	4.00
3" GYPSUM DECKING	2.21
INSIDE AIR	0.61
R TOTAL:	34.14
U' TOTAL:	0.29

ROOFS: "C", "K", & "L"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
1/4" PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 2 1/2" POLYISO INSUL.	22.8
1/4" METAL DECKING	0.01
INSIDE AIR	0.61
R TOTAL:	28.49
U' TOTAL:	0.035

ROOFS: "E" & "F"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
1/4" PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	22.8
AVG: 1 1/2" POLYISO INSUL.	8.55
1/4" METAL DECKING	0.01
INSIDE AIR	0.61
R TOTAL:	34.19
U' TOTAL:	0.029

ROOF: "G"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
1/4" PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	22.8
AVG: 4" POLYISO INSUL.	0.01
1/4" METAL DECKING	0.01
INSIDE AIR	0.61
R TOTAL:	25.64
U' TOTAL:	0.039

ROOF: "H" & "J"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
1/4" PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 4 1/2" POLYISO INSUL.	25.65
1" FIBER INSULATION BOARD	0.61
3" GYPSUM DECKING	2.21
INSIDE AIR	0.61
R TOTAL:	46.29
U' TOTAL:	0.022

ROOFS: "M" & "N"

OUTSIDE AIR	0.17
ARCH. ASPHALT SHINGLES	0.44
ICE & WATER SHIELD	0.06
1/4" PLYWOOD DECKING	0.77
8" BATT INSULATION	25.3
INSIDE AIR	0.61
R TOTAL:	27.35
U' TOTAL:	0.037

DEMOLITION NOTES

- AT ROOFS 'A' THRU 'K' - REMOVE ALL OF THE FOLLOWING:
 - (1) LAYER OF SINGLE PLY MEMBRANE
 - RIGID INSULATION
 - ROOF DRAINS, SUMPS, & ALL INDICATED UNLESS OTHERWISE NOTED
 - WOOD BLOCKING (PERIMETER & CURBS) UNLESS OTHERWISE NOTED
 - ROOF FLASHING MATERIAL
 - VENT STACK FLASHINGS
 - HOT STACK FLASHINGS & INSULATION
 - CANT STRIPS & TAPERED EDGE STRIPS
 - REMOVE EXIST. MECH. UNIT CURBS AS REQ'D.
 - PERIMETER METAL FASCIA/CAP FLASHINGS (UNLESS OTHERWISE NOTED)
- AT ROOFS 'M' & 'N' - REMOVE ALL OF THE FOLLOWING:
 - ASPHALT SHINGLES
 - BUILDING PAPER
 - ICE & WATER SHIELD
 - METAL DRIP EDGES AT EAVES AND RAKES
 - ROOF FLASHING MATERIAL
 - PERIMETER METAL FASCIA/CAP FLASHINGS (UNLESS OTHERWISE NOTED)
 - METAL GUTTERS & HANGERS
 - METAL DOWNSPOUTS, SUPPORTS & TRANSITION BOOTS
- REMOVE MECH. UNIT & DISCARD (VERIFY W/ OWNER IF NOT FUNCTIONING)
- REMOVE EXIST. ROOF LADDER & DISCARD

THE ABOVE INFORMATION IS BASED ON LIMITED FIELD INVESTIGATION. ALL ROOFING, FLASHING & WOOD BLOCKING IS TO BE REMOVED LEAVING AN EXPOSED DECK.

GENERAL NOTES:

- SEE PROJECT MANUAL FOR ALLOWANCES AND/OR UNIT PRICES
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/O ADDITIONAL COST TO OWNER.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS @ EACH ROOF PRIOR TO BID
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/O A LEVEL (AFTER DEMOLITION TO VERIFY IF DECK IS SLOPED AS INDICATED ON DRAWINGS OR FLAT). IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY OF THE CHANGES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PERCED OR DAMAGED
- CONTRACTOR IS RESPONSIBLE TO MAKE ROOF WATERTIGHT, WHICH INCLUDES EVERYTHING THAT IS LOCATED AND/OR PENETRATES THE ROOF @ EACH WORK DAY.
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED 'EXISTING'
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE FIRE TREATED (F.T.) SEE PROJECT MANUAL FOR FASTENING REQUIREMENTS
- ALL WOOD BLOCKING INDICATED IN DETAILS ON DRAWING IS TO BE ANCHORED TO EXISTING STRUCTURE. SEE PROJECT MANUAL.
- ALL ROOFS TO RECEIVE 1/4" PER FOOT TAPERED BRG INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- NEW INSULATION TO BE A MINIMUM 2" @ ALL EXISTING & NEW ROOF DRAINS.
- ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT UNLESS OTHERWISE NOTED.
- COORDINATION OF CRICKETS AROUND EXISTING HVAC UNITS IS REQUIRED TO AVOID PONDING
- ALL MEMBRANE FLASHING INDICATED IN DETAILS ON DRAWINGS IS TO EXTEND A MINIMUM OF 6" (VERTICAL AND/OR HORIZONTAL) OR WHAT IS REQUIRED BY MANUFACTURER ONTO THE FLAT PORTION OF THE ROOF
- ALL EQUIPMENT INDICATED IS APPROXIMATE. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & REINSTALLATION OF ALL HVAC UNITS (MIN. OF 6") INCLUDING ALL ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL WIRING, PIPING, & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECH. UNIT CURBING & NEW ROOFING SYSTEM HEIGHTS. DUCTWORK MAY NEED TO BE CUT, REMOVED, LIFTED, & RE-INSTALLED TO MAINTAIN MANUFACTURER'S 6" MIN. FLASHING HEIGHT. VERIFY WORK PRIOR TO BID
- ALL DRAIN PIPING IS INSTALLED W/INSULATION ABOVE THE EXISTING CEILING. WHEN PIPING PENETRATES ANY WALLS, A FIRESTOPPING SYSTEM MUST BE INSTALLED. THE EXACT PIPING ROUTE WILL BE DETERMINED IN THE FIELD. VERIFY PROPOSED DRAIN PIPING LAYOUT PRIOR TO BID. MAKE MINOR ADJUSTMENTS IN THE ROUTE @ NO ADDITIONAL COST TO THE OWNER OF THE BUILDING
- SHAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS TO NEAREST MANHOLE OUTSIDE
- SHAKE/CLEAN OUT ALL EXISTING VENT STACKS PRIOR TO INSTALLING METAL SLEEVES
- ALL ANTENNAE, LIGHTNING PROTECTION, CONDUITS, & ANY OTHER OBJECTS TO REMAIN ON NEW ROOF, AFFECTED BY THE SCOPE OF WORK, ARE TO BE REMOVED & REINSTALLED
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATE THE INTERIOR ENVELOPE OF THE BUILDING W/O ADDITIONAL COST TO THE OWNER
- SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDING AS REQUIRED TO MATCH ADJACENT CONDITIONS
- CONTRACTOR ASSUMES THE RESPONSIBILITY THAT ALL SECONDARY DRAIN PIPING TOPS ARE A MAXIMUM HEIGHT OF 6" ABOVE LOWEST POINT OF THE ROOF & DO NOT EXCEED THE HEIGHT OF THE ROOF EDGE. PIPE TOPS TO BE LASER VERIFIED AFTER INSTALLATION A MAXIMUM OF 6". THOSE HIGHER NEED METAL SCUPPERS INSTALLED. CONTACT ARCHITECT IF EDGE IS ABOVE 6"
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION PHASING OF EXIST. MECH. UNITS & ALARM SYSTEMS DISCONNECTS & RECONNECTIONS EACH DAY DURING INSTALLATION OF ROOFING SYSTEM. COORDINATE W/OWNER & ARCHITECT FOR SCHEDULING PRIOR TO DAY OF WORK. PROVIDE PROTECTION FROM FUMES, GASES, & DUST FROM PENETRATING DUCTWORK & INTERIOR SPACES OF BUILDING. RECONNECT ALL UNITS TO BE FULLY OPERATIONAL BY THE END OF THE WORK DAY, UNLESS DIRECTED OTHERWISE BY OWNER

CONSTRUCTION NOTES

- FOR ROOF DRAIN TYPE I DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (A/A4)
- FOR ROOF DRAIN TYPE II DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (B/A4)
- FOR ROOF DRAIN TYPE III DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (C/A4)
- FOR COLLECTION BOX PROFILES DETAILS @ ALL GYPSUM DECK - SEE DETAIL - (S/A4)
- FOR END WALL DRAIN DETAILS @ ALL GYPSUM DECK - SEE DETAIL - (H/A4)
- FOR ROOF DRAIN TYPE III DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (J/A4)
- FOR MECH. UNIT TYPE I DETAIL @ ALL METAL DECK - SEE DETAIL - (K/A4)
- FOR MECH. UNIT TYPE II DETAIL @ ALL METAL DECK - SEE DETAIL - (L/A4)
- FOR MECH. UNIT TYPE III DETAIL @ ALL METAL DECK - SEE DETAIL - (M/A4)
- FOR VENT STACK DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (N/A4)
- FOR PITCH POCKET DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (P/A4)
- FOR HOT FLUE DETAIL @ ALL METAL DECK - SEE DETAIL - (Q/A4)
- FOR CONDUIT CURB DETAIL @ ALL METAL DECK - SEE DETAIL - (R/A4)
- FOR EXPANSION JOINT TYPE I DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (S/A4)
- FOR EXPANSION JOINT TYPE II DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (T/A4)
- FOR ROOF SEPARATOR DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (U/A4)
- FOR MECH. UNIT CURB DETAIL @ ALL METAL DECK - SEE DETAIL - (V/A4)
- FOR ROOF REGLET DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (W/A4)
- FOR 'TYPICAL GUARDRAIL' DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (A/B)
- FOR GUARDRAIL TYPE I DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (B/A)
- FOR TYPICAL ROOF LADDER DETAIL @ ALL METAL DECK - SEE DETAIL - (C/A)
- HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/8" PER FOOT. MIN. VERTICAL LEADERS INTO EXIST. PIPING AS REQ'D. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQUIRED BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING
- EXISTING HORIZONTAL ROOF LEADERS TO REMAIN. CONTRACTOR TO TIE NEW ROOF DRAIN & NEW 4" CAST IRON VERTICAL ROOF LEADER INTO EXIST. - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION
- INSTALL ROOF LEADERS TO AVOID WINDOWS BELOW
- TEMPORARILY REMOVE & REINSTALL EXIST. MECH. UNIT. REMOVE EXIST. CURB, SUPPORTS/PITCH POCKETS @ ALL EXISTING LOCATIONS & INSTALL NEW SUPPORTS. PATCH & REPAIR ANY DAMAGE TO DUCTWORK COVERING MEMBRANE - SEE DETAILS G/A4, H/A4, & J/A4
- CONTRACTOR TO INSTALL NEW F.T. WOOD BLOCKING 6" TO MEET MANUFACTURER'S MIN. FLASHING HEIGHT
- CONTRACTOR TO INFILL HOLE IN DECK @ LOCATIONS OF REMOVED MECH. UNITS. REMOVE CURB & INFILL W/METAL DECK TO MATCH EXIST. AS REQ'D.
- CONTRACTOR TO INSTALL F.T. WOOD CURB FASTENED TO DECK TO MEET SEISMIC CODE REQUIREMENTS. INSTALL AS REQ'D. NOT TO PREVENT WATER FLOW & PONDING
- CONTRACTOR SHALL REPLACE ALL OR PROVIDE NEW ROOF TOP EQUIPMENT DISCONNECT SWITCHES IN THIS PROJECT SCOPE. NEW SWITCHES SHALL BE NON-FUSED, NEMA 3R RATED & SHALL MATCH THE VOLTAGE & CURRENT RATINGS OF THE EQUIPMENT SERVED. NEW DISCONNECT SWITCHES SHALL BE MOUNTED TO A NON-REMOVABLE PANEL ON THE EQUIPMENT SERVED OR THE CONTRACTOR SHALL PROVIDE A SUITABLE UNI-STRUT SUPPORT FOR PROPER MOUNTING. IN ALL CASES, THE NEW DISCONNECT SWITCH SHALL BE W/VIN OF THE EQUIPMENT SERVED. MODIFY & EXTEND BRANCH CIRCUIT WIRING AS REQ'D. FOR INSTALLATION OF THE DISCONNECT SWITCH. NEW SWITCH MATERIALS & INSTALLATION SHALL BE COMPLIANT W/APPLICABLE REQUIREMENTS OF THE CURRENT NEC ARTICLES APPLICABLE REQUIREMENTS OF THE CURRENT NEC 424.19, 430 IX & 440 PART II
- CONTRACTOR SHALL PROVIDE NEW GFCI RECEPTACLES IN WATERPROOF BOXES W/IN 25'-0" OF ALL HVAC EQUIPMENT PER NEC 210.63. TIE RECEPTACLE INTO EXIST. GENERAL PURPOSE RECEPTACLE CIRCUIT SERVING THE SPACE BELOW
- CONTRACTOR TO REMOVE & RE-INSTALL EXIST. WEATHER STATION AS REQ'D. COORDINATE W/ OWNER & VERIFY UNIT IS WORKING AFTER RE-INSTALLATION
- SEE PHOTO 17/A5 & DETAIL S/A5 FOR LOCATION OF SAW CUTTING EXIST. BROWN STONE & INSULATION OF METAL REGLET FLASHING
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF GYPSUM & METAL DECK REPAIRS & REPLACEMENT - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION

SYMBOL LEGEND:

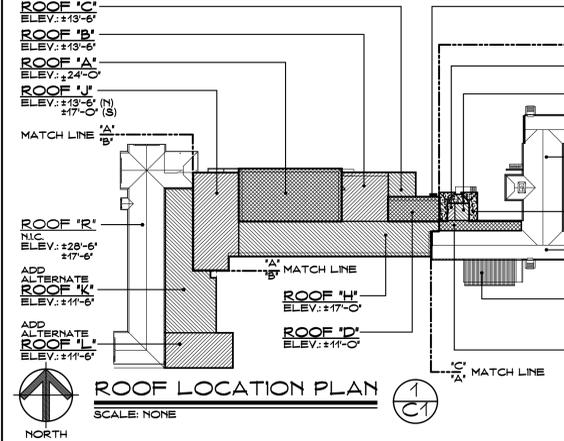
- PLAN, SECTION, DETAIL OR ELEVATION NUMBER/SHEET
- OUTLINE OF NEW ROOF
- OUTLINE OF EXISTING ROOFS N.I.C.
- EXISTING OUTLINE OF BUILDING
- INDICATES AREA THAT 1/4" PER FOOT TAPERED INSULATION TO BE INSTALLED
- INDICATES TAPERED INSULATION DIRECTION
- INDICATES PITCHED ROOF DECKING - EXISTING PITCH WILL NOT AFFECT THE IMPACT OF SLOPE REQUIREMENTS OF TAPERED INSULATION SYSTEM
- INDICATES HIGH POINT/LOW POINT OF INSULATION
- TAPERED INSULATION CRICKET SLOPED @ 1/4" PER FOOT
- NEW ROOF DRAIN & SUMP @ NEW LOCATION - SEE DETAIL D/A4 & CONSTRUCTION NOTES #23 & #23
- NEW ROOF DRAIN & SUMP @ NEW LOCATION - SEE DETAIL E/A4 & CONSTRUCTION NOTES #22 & #23
- EXIST. ROOF DRAIN I OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL I/A4
- NEW ROOF DRAIN OVER FLOW SYSTEM @ NEW LOCATION - SEE DETAIL D/A4
- WALL END DRAIN - SEE DETAIL H/A4
- NEW ROOF DRAIN W/ OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL J/A4
- NEW ROOF DRAIN OVER FLOW SYSTEM @ SUMP @ EXIST. LOCATION - SEE DETAIL E/A4 & CONSTRUCTION NOTES #22 & #23
- NEW ROOF DRAIN OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL E/A4 & CONSTRUCTION NOTES #22 & #23
- NEW ROOF DOUBLE DRAIN & SUMP @ EXIST. LOCATION - SEE DETAIL F/A4 & CONSTRUCTION NOTES #22 & #23
- COLLECTION BOX - SEE DETAIL G/A4 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXISTING ROOF DRAIN TO BE REMOVED & LEADER TO BE USED - CONSTRUCTION NOTES #22 & #23
- NEW HORIZONTAL ROOF DRAIN LEADER - SEE CONSTRUCTION NOTES #22 & #23
- NEW ROOF DRAIN OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL E/A4 & CONSTRUCTION NOTES #22 & #23
- METAL STORM GUTTER - SLOPE GUTTER AS INDICATED
- ROOF LEADER - TIE INTO NEW OR EXISTING ROOF GUTTER & UNDERGROUND STORM WATER SYSTEM AS REQ'D. - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXISTING ROOF TOP MECHANICAL UNIT TO REMAIN - SEE DETAILS H/A4, J/A4, K/A4 & CONSTRUCTION NOTES #22 & #23
- DASHED LINES REPRESENT MECH. UNIT ABOVE
- VENT STACK - SEE DETAIL N/A4
- PITCH POCKET - SEE DETAIL P/A4
- HOT STACK - SEE DETAIL Q/A4
- CONDUIT CURB - SEE DETAIL R/A4
- EXPANSION JOINT - SEE DETAILS S2/A4 & T/A4
- ROOF SEPARATOR - SEE DETAIL U/A4
- MECH. UNIT CURB - SEE DETAIL V/A4 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXTERIOR ROOF LADDER - SEE DETAIL C/A5 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- HEIGHT DIFFERENCE BETWEEN ROOFS FOR EACH LADDER - SEE ABOVE
- METAL SAFETY GUARD RAIL - SEE DETAIL X/A4 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- METAL SAFETY GUARD RAIL TYPE II - SEE DETAILS B/A5 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- FOR ADDITIONAL INFORMATION

CODE INFORMATION

DATE OF ORIGINAL CONSTRUCTION	1911	
DATE OF ADDITION 1	1949	
DATE OF ADDITION 2	1997	
1. GROUP CLASSIFICATION (Chapter 3)		
(Primary)	E-EDUCATIONAL	
(Incidental)	A3-ASSEMBLY	
2. CONSTRUCTION TYPE (Chapter 6)		
Minimum Type Required	3B/3B	
Actual Type Provided (existing)	--	
(new)	3B/3B	
3. BUILDING HEIGHT (Chapter 5)		
Allowable Height (story/feet)	3/75'-0"	
Actual Height (story/feet)	2/35'-6"	
(Stories Above Grade)	2	
4.A BUILDING AREA (Chapter 5) ROOF STATE PROJECT # TMP-128-JFFZ		
a) Building Area (first)		
Existing construction	12,654 sq.ft.	
New construction	0 sq.ft.	
Total floor	12,654 sq.ft.	
b) Building Area (second)		
Existing construction	48,255 sq.ft.	
New construction	0 sq.ft.	
Total floor	48,255 sq.ft.	
c) Building Area (third)		
Existing construction	NA sq.ft.	
New construction	NA sq.ft.	
Total floor	NA sq.ft.	
TOTAL (ALL FLOORS)		60,909 sq.ft.
5. AREA MODIFICATIONS TO TABLE 503 (for each separate building as defined by fire walls and/or exterior walls)		
NA	NA	
6. CASE 1 - SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1) (Allowable Area 506.4)		
NA	NA	
7. CASE 2 - MIXED OCCUPANCY SEPARATED USES (302.3.2) (Allowable Area 506.4)		
NA	NA	
8. FIRE-RESISTANCE RATED REQUIREMENTS FOR BUILDING ELEMENTS (Table 601, See Code Plans for specific designations)		
1 Structural frame, including columns, girders, trusses	0 Hr(s)	
2 Bearing walls:	0/1 Hr(s)	
Exterior (Table 602)	0 Hr(s)	
Interior	0 Hr(s)	
3 Nonbearing walls & partitions	0/1 Hr(s)	
Exterior (Table 602)	0 Hr(s)	
Interior	0 Hr(s)	
4 Nonbearing walls & partitions	0 Hr(s)	
Exterior (Table 602)	0 Hr(s)	
Interior	0 Hr(s)	
5 Floor Construction (including supporting beams & joists)	0 Hr(s)	
6 Roof Construction (including supporting beams & joists)	0 Hr(s)	

9. OCCUPANCY LOAD		
Design Total for Basement	NA	
Total Exit Capacity for Basement	NA	
Design Total for First Floor	NA	
Total Exit Capacity for First Floor	NA	
Design Total for Building	NA	
Total Exit Capacity for Building	NA	
10. MODIFICATIONS		
Approved	Not Approved	
11. ACCESSIBLE BUILDING		
Designated	X	
Non Designated		
12. MINIMUM PLUMBING FIXTURE COUNT (I.P.C. Chapter 4)		
Group "A3" occupancy (Design Load = NA)		
	Required	Provided
W/C Male	NA	NA
W/C Female	NA	NA
Lavs	NA	NA
D/F	NA	NA
W/C Unisex	NA	NA
Lavs Unisex	NA	NA
Group "E" occupancy, (Design Load = NA)		
W/C	NA	NA
Lavs	NA	NA
D/F	NA	NA
(Total Design Load for entire facility = NA)		
13. ENTIRE BUILDINGS SPRINKLERED		
Yes	No	
	X	
14. THRESHOLD BUILDING CONDITIONS		
Yes	No	
	X	
15. CODES TO WHICH THIS PROJECT WAS DESIGNED		
State Building Code w/Supplement	MOST CURRENT	
State Building Code w/Supplement	MOST CURRENT	
State Fire Code w/Supplement	MOST CURRENT	
State Fire Code w/Supplement	MOST CURRENT	
State Health Code	MOST CURRENT	
OSHA	MOST CURRENT	
Section 504	MOST CURRENT	
ADA	MOST CURRENT	

16.A BUILDING AREAS FOR GRANT CALCULATION (ENTIRE FACILITY)	
(measured to inside face of exterior walls)	
Existing unrenovated construction	0 sq.ft.
Existing renovated construction	0 sq.ft.
Existing being demolished	0 sq.ft.
Total existing construction	60,909 sq.ft.
Total new construction	0 sq.ft.
Total facility	60,909 sq.ft.
Open Areas (not included in total facility)	
NA	0 sq.ft.
16.B BUILDING AREAS FOR GRANT CALCULATION (ENTIRE FACILITY)	
SOLAR PANEL STATE PROJECT #	
(measured to inside face of exterior walls)	
Existing unrenovated construction	NA sq.ft.
Existing renovated construction	NA sq.ft.
Existing being demolished	NA sq.ft.
Total existing construction	NA sq.ft.
Total new construction	NA sq.ft.
Total facility	NA sq.ft.
Open Areas (not included in total facility)	
NA	NA sq.ft.
17. TOTAL CONSTRUCTED BUILDING AREA (outside face of exterior walls including open areas above)	
NA	NA sq.ft.
FIRE SAFETY CODE DATA:	
1. CLASSIFICATION OF OCCUPANCY	EDUCATIONAL/ASSEMBLY
2. MINIMUM CONSTRUCTION REQUIRED	5B
ACTUAL CONSTRUCTION PROVIDED	2B
3. NOTIFICATION / ALARMS	YES X NO
(OSFC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)	
4. DETECTION	YES X NO
(OSFC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)	
5. EXTINGUISHMENT REQUIREMENTS	YES X NO
(NFPA 13, 2002)	
MEANS OF EGRESS	
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT IBC TABLE 1004.1.2	
USE	FLOOR AREA IN S.F. PER OCCUPANT
1. CLASSROOMS	20 S.F. NET
2. SHOPS & VOCATIONAL	50 S.F. NET
3. ASSEMBLY	
WITHOUT FIXED SEATS	7 S.F. NET
TABLES AND CHAIRS	15 S.F. NET
4. PLATFORMS	15 S.F. NET
5. LIBRARY	
READING ROOMS	50 S.F. NET
STACK AREA	100 S.F. GROSS
6. LOCKER ROOMS	50 S.F. GROSS
7. MECHANICAL AREAS	300 S.F. GROSS
8. STORAGE	300 S.F. GROSS
9. BUSINESS AREAS	100 S.F. GROSS
10. Courtyards	15 S.F. NET
MAXIMUM LENGTH OF EXIT TRAVEL	250 FEET
1. I.B.C. TABLE 1015.1	



ROOF AREAS:	
BASE BID:	
EPDM ROOFS:	5,902 SF.
ROOF 'A' :	2,418 SF.
ROOF 'B' :	7,200 SF.
ROOF 'D' :	1,377 SF.
ROOF 'E' :	145 SF.
ROOF 'F' :	264 SF.
ROOF 'G' :	907 SF.
ROOF 'H' :	7,259 SF.
ROOF 'J' :	4,620 SF.
TOTAL :	23,642 SF.
ASPHALT SHINGLE ROOFS:	
ROOF 'K' :	22 SF.
ROOF 'N' :	972 SF.
TOTAL :	994 SF.
ADD ALTERNATE:	
ROOF 'K' :	5,975 SF.
ROOF 'N' :	2,593 SF.
TOTAL :	8,568 SF.
BASE BID & ADD ALTERNATE:	
ADD ALTERNATE:	24,636 SF.
TOTAL JOB :	33,204 SF.
NOTE: THIS AREA IS APPROXIMATE - CONTRACTOR TO FIELD VERIFY.	

Project Title:
 PARTIAL ROOF REPLACEMENT FOR:
 SIMSBURY BOARD OF EDUCATION
CENTRAL SCHOOL
 29 MASSACHUSETT STREET,
 SIMSBURY, CONNECTICUT. 06070-2118



SILVER / PETRUCCELLI + ASSOCIATES
 Architects / Engineers / Interior Designers
 4190 Whitney Avenue, Hamden, CT 06518-2340
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 silverpetrucci.com

Revision	Description	Date	Revised By

CODE INFORMATION:

USE GROUP : E & 3A
 CONSTRUCTION CLASS: 3B/3B
 BASIC WIND SPEED: 140 MPH
 SURFACE ROUGHNESS EXPOSURE: B
 BC IMPORTANCE FACTOR (SHOW): 1.40
 BC IMPORTANCE FACTOR (SEISMIC): 1.25
 BC IMPORTANCE FACTOR (WIND): 1.15

FACTORY MUTUAL ENGINEERS & RESEARCH CORPORATION (FM GLOBAL);
 ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 160 FOR FIELD, 190 FOR PERIMETER, & 1120 FOR CORNERS, IN ACCORDANCE W/ FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28

IMC GUARD RAILS • APPLIANCES, EQUIPMENT, FANS OR OTHER COMPONENTS THAT REQUIRE SERVICE
 NEC ARTICLES FOR ROOF TOP DISCONNECT SWITCHES & GFCI RECEPTACLES

ENERGY CONSERVATION:

IECC CODE REQUIREMENT R-VALUE TOTAL CONNECTICUT ZONE 5A
 IECC REQUIREMENT: U' 0.42 OR LESS R-24 OR MORE
 (U' IS BASED ON THE ROOFING ASSEMBLY)

ROOFS: "A" & "B"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 6 1/2" POLYISO INSUL.	37.44
1" FIBER INSULATION BOARD	4.00
3" GYPSUM DECKING	0.61
INSIDE AIR	0.61
R TOTAL:	57.68
U TOTAL:	0.017

ROOF: "D"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 2 1/2" POLYISO INSUL.	14.25
1" FIBER INSULATION BOARD	4.00
3" GYPSUM DECKING	0.61
INSIDE AIR	0.61
R TOTAL:	34.14
U TOTAL:	0.029

ROOFS: "C", "K", & "L"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 2 1/2" POLYISO INSUL.	22.8
1 1/2" METAL DECKING	0.01
INSIDE AIR	0.61
R TOTAL:	28.49
U TOTAL:	0.035

ROOFS: "E" & "F"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	22.8
AVG: 1 1/2" POLYISO INSUL.	8.55
1 1/2" METAL DECKING	0.01
INSIDE AIR	0.61
R TOTAL:	34.19
U TOTAL:	0.029

ROOF: "G"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	22.8
AVG: 4" POLYISO INSUL.	0.01
1 1/2" METAL DECKING	0.61
INSIDE AIR	0.61
R TOTAL:	25.64
U TOTAL:	0.039

ROOF: "H" & "J"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 4 1/2" POLYISO INSUL.	25.65
1" FIBER INSULATION BOARD	0.61
3" GYPSUM DECKING	2.21
INSIDE AIR	0.61
R TOTAL:	46.09
U TOTAL:	0.022

ROOFS: "M" & "N"

OUTSIDE AIR	0.17
ARCH. ASPHALT SHINGLES	0.44
ICE & WATER SHIELD	0.06
1/2" PLYWOOD DECKING	0.77
8" BATT INSULATION	25.3
INSIDE AIR	0.61
R TOTAL:	27.35
U TOTAL:	0.037

DEMOLITION NOTES

- AT ROOFS 'A' THRU 'K' - REMOVE ALL OF THE FOLLOWING:
 - (1) LAYER OF SINGLE PLY MEMBRANE
 - RIGID INSULATION
 - ROOF DRAINS, SUMPS, & ALL INDICATED SCUFFERS
 - WOOD BLOCKING (PERIMETER & CURBS) UNLESS OTHERWISE NOTED
 - ROOF FLASHING MATERIAL
 - VENT STACK FLASHINGS
 - HOT STACK FLASHINGS & INSULATION
 - CANT STRIPS & TAPERED EDGE STRIPS
 - REMOVE EXIST. MECH. UNIT CURBS AS REQ'D.
 - PERIMETER METAL FASCIA/CAP FLASHINGS UNLESS OTHERWISE NOTED
 - FLASHINGS UNLESS OTHERWISE NOTED
- AT ROOFS 'M' & 'N' - REMOVE ALL OF THE FOLLOWING:
 - ASPHALT SHINGLES
 - BUILDING PAPER
 - ICE & WATER SHIELD
 - METAL DRIP EDGES AT EAVES AND RAKES
 - ROOF FLASHING MATERIAL
 - PERIMETER METAL FASCIA/CAP FLASHINGS UNLESS OTHERWISE NOTED
 - METAL GUTTERS & HANGERS
 - METAL DOWNSPOUTS, SUPPORTS & TRANSITION BOOT
- REMOVE MECH. UNIT & DISCARD (VERIFY W/ OWNER IF NOT FUNCTIONING)
- REMOVE EXIST. ROOF LADDER & DISCARD

THE ABOVE INFORMATION IS BASED ON LIMITED FIELD INVESTIGATION. ALL ROOFING, FLASHING & WOOD BLOCKING IS TO BE REMOVED LEAVING AN EXPOSED DECK.

GENERAL NOTES:

- SEE PROJECT MANUAL FOR ALLOWANCES AND/OR UNIT PRICES
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS @ EACH ROOF PRIOR TO BID
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/VA LEVEL (AFTER DEMOLITION) TO VERIFY IF DECK IS SLOPED AS INDICATED ON DRAWINGS OR FLAT. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY OF THE CHANGES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PERCED OR DAMAGED
- CONTRACTOR IS RESPONSIBLE TO MAKE ROOF WATERTIGHT, WHICH INCLUDES EVERYTHING THAT IS LOCATED AND/OR PENETRATES THE ROOF @ THE END OF EACH WORK DAY.
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED 'EXISTING'
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE FIRE TREATED (F.T.) SEE PROJECT MANUAL FOR FASTENING REQUIREMENTS
- ALL WOOD BLOCKING INDICATED IN DETAILS ON DRAWING IS TO BE ANCHORED TO EXISTING STRUCTURE. SEE PROJECT MANUAL.
- ALL ROOFS TO RECEIVE 1/4" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- NEW INSULATION TO BE A MINIMUM 2" @ ALL EXISTING & NEW ROOF DRAINS.
- ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT UNLESS OTHERWISE NOTED.
- COORDINATION OF CRICKETS AROUND EXISTING HVAC UNITS IS REQUIRED TO AVOID PONDING
- ALL MEMBRANE FLASHING INDICATED IN DETAILS ON DRAWINGS IS TO EXTEND A MINIMUM OF 6" (VERTICAL AND/OR HORIZONTAL) OR WHAT IS REQUIRED BY MANUFACTURER ONTO THE FLAT PORTION OF THE ROOF
- ALL EQUIPMENT INDICATED IS APPROXIMATE. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & REINSTALLATION OF ALL HVAC UNITS (MIN. OF 6") INCLUDING ALL ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL WIRING, PIPING, & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM HEIGHTS. DUCTWORK MAY NEED TO BE CUT, REMOVED, LIFTED, & RE-INSTALLED TO MAINTAIN MANUFACTURER'S 6" MIN. FLASHING HEIGHT. VERIFY WORK PRIOR TO BID
- ALL DRAIN PIPING IS INSTALLED W/INSULATION ABOVE THE EXISTING CEILING. WHEN PIPING PENETRATES ANY WALLS, A FIRESTOPPING SYSTEM MUST BE INSTALLED. THE EXACT PIPING ROUTE WILL BE DETERMINED IN THE FIELD. VERIFY PROPOSED DRAIN PIPING LAYOUT PRIOR TO BID. MAKE MINOR ADJUSTMENTS IN THE ROUTE @ NO ADDITIONAL COST TO THE OWNER OF THE BUILDING
- SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS TO NEAREST MANHOLE OUTSIDE
- SNAKE/CLEAN OUT ALL EXISTING VENT STACKS PRIOR TO INSTALLING METAL SLEEVES
- ALL ANTENNAE LIGHTNING PROTECTION, CONDUITS, & ANY OTHER OBJECTS TO REMAIN ON NEW ROOF, AFFECTED BY THE SCOPE OF WORK, ARE TO BE REMOVED & REINSTALLED
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATE THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER
- SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDING AS REQUIRED TO MATCH ADJACENT CONDITIONS
- CONTRACTOR ASSUMES THE RESPONSIBILITY THAT ALL SECONDARY DRAIN PIPING TOPS ARE A MAXIMUM HEIGHT OF 6" ABOVE LOWEST POINT OF THE ROOF & DO NOT EXCEED THE HEIGHT OF THE ROOF EDGE. PIPE TOPS TO BE LASER VERIFIED AFTER INSTALLATION A MAXIMUM OF 6". THOSE HIGHER NEED METAL SCUFFERS INSTALLED. CONTACT ARCHITECT IF EDGE IS ABOVE 6"
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION PHASING OF EXIST. MECH. UNITS & ALARM SYSTEMS DISCONNECTS & RECONNECTIONS EACH DAY DURING INSTALLATION OF ROOFING SYSTEM. COORDINATE W/OWNER & ARCHITECT FOR SCHEDULING PRIOR TO DAY OF WORK. PROVIDE PROTECTION FROM FUMES, GASES, & DUST FROM PENETRATING DUCTWORK & INTERIOR SPACES OF BUILDING. RECONNECT ALL UNITS TO BE FULLY OPERATIONAL BY THE END OF THE WORK DAY, UNLESS DIRECTED OTHERWISE BY OWNER

CONSTRUCTION NOTES

- FOR ROOF DRAIN TYPE I DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (A/A4)
- FOR ROOF DRAIN TYPE II DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (B/A4)
- FOR ROOF DRAIN TYPE III DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (C/A4)
- FOR COLLECTION BOX PROFILES DETAILS @ ALL GYPSUM DECK - SEE DETAIL - (G/A4)
- FOR END WALL DRAIN DETAILS @ ALL GYPSUM DECK - SEE DETAIL - (H/A4)
- FOR ROOF DRAIN TYPE III DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (J/A4)
- FOR MECH. UNIT TYPE I DETAIL @ ALL METAL DECK - SEE DETAIL - (K/A4)
- FOR MECH. UNIT TYPE II DETAIL @ ALL METAL DECK - SEE DETAIL - (L/A4)
- FOR MECH. UNIT TYPE III DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (M/A4)
- FOR VENT STACK DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (N/A4)
- FOR PITCH POCKET DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (P/A4)
- FOR HOT FLUE DETAIL @ ALL METAL DECK - SEE DETAIL - (Q/A4)
- FOR CONDUIT CURB DETAIL @ ALL METAL DECK - SEE DETAIL - (R/A4)
- FOR EXPANSION JOINT TYPE I DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (S/A4)
- FOR EXPANSION JOINT TYPE II DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (T/A4)
- FOR ROOF SEPARATOR DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (U/A4)
- FOR MECH. UNIT CURB DETAIL @ ALL METAL DECK - SEE DETAIL - (V/A4)
- FOR ROOF REGLET DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (W/A4)
- FOR 'TYPICAL GUARDRAIL' DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (A/A5)
- FOR GUARDRAIL TYPE I DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (B/A5)
- FOR TYPICAL ROOF LADDER DETAIL @ ALL METAL DECK - SEE DETAIL - (C/A5)
- HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/4" PER FOOT. VERTICAL LEADERS INTO EXIST. PIPING AS REQ'D. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQUIRED BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING
- EXISTING HORIZONTAL ROOF LEADERS TO REMAIN. CONTRACTOR TO TIE NEW ROOF DRAIN & NEW 4" CAST IRON VERTICAL ROOF LEADER INTO EXIST. - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION
- INSTALL ROOF LEADERS TO AVOID WINDOWS BELOW
- TEMPORARILY REMOVE & REINSTALL EXIST. MECH. UNIT. REMOVE EXIST. CURB. INSTALL NEW CURB - SEE DETAILS G/A4, H/A4, & J/A4
- TEMPORARILY BRACE EXIST. MECH. UNIT DUCTWORK. REMOVE EXIST. CURB SUPPORTS/PITCH POCKETS @ ALL EXISTING LOCATIONS & INSTALL NEW SUPPORTS. PATCH & REPAIR ANY DAMAGE TO DUCTWORK COVERING MEMBRANE - SEE DETAILS G/A4, H/A4, & J/A4
- CONTRACTOR TO INSTALL NEW F.T. WOOD BLOCKING 6" TO MEET MANUFACTURER'S MIN. FLASHING HEIGHT
- CONTRACTOR TO INFILL HOLE IN DECK @ LOCATIONS OF REMOVED MECH. UNITS. REMOVE CURB & INFILL W/METAL DECK TO MATCH EXIST. AS REQ'D.
- CONTRACTOR TO INSTALL F.T. WOOD CURB FASTENED TO DECK TO MEET SEISMIC CODE REQUIREMENTS. INSTALL AS REQ'D. NOT TO PREVENT WATER FLOW & PONDING
- CONTRACTOR SHALL REPLACE ALL OR PROVIDE NEW ROOF TOP EQUIPMENT DISCONNECT SWITCHES IN THIS PROJECT SCOPE. NEW SWITCHES SHALL BE NON-FUSED, NEMA 3R RATED & SHALL MATCH THE VOLTAGE & CURRENT RATINGS OF THE EQUIPMENT SERVED. NEW DISCONNECT SWITCHES SHALL BE MOUNTED TO A NON-REMOVABLE PANEL ON THE EQUIPMENT SERVED OR THE CONTRACTOR SHALL PROVIDE A SUITABLE UNI-STRUT SUPPORT FOR PROPER MOUNTING. IN ALL CASES, THE NEW DISCONNECT SWITCH SHALL BE W/N VIEW OF THE EQUIPMENT SERVED. MODIFY & EXTEND BRANCH CIRCUIT WIRING AS REQ'D. FOR INSTALLATION OF THE DISCONNECT SWITCH. NEW SWITCH MATERIALS & INSTALLATION SHALL BE COMPLIANT W/APPLICABLE REQUIREMENTS OF THE CURRENT NEC ARTICLES APPLICABLE REQUIREMENTS OF THE CURRENT NEC 424.19, 430 IX & 440 PART II
- CONTRACTOR SHALL PROVIDE NEW GFCI RECEPTACLES IN WATERPROOF BOXES W/N 25'-0" OF ALL HVAC EQUIPMENT PER NEC 210.63. TIE RECEPTACLE INTO EXIST. GENERAL PURPOSE RECEPTACLE CIRCUIT SERVING THE SPACE BELOW
- CONTRACTOR TO REMOVE & RE-INSTALL EXIST. WEATHER STATION AS REQ'D. COORDINATE W/ OWNER & VERIFY UNIT IS WORKING AFTER RE-INSTALLATION
- SEE PHOTO 1/A5 & DETAIL S/A5 FOR LOCATION OF SAW CUTTING EXIST. BROWN STONE & INSULATION OF METAL REGLET FLASHING
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF GYPSUM & METAL DECK REPAIRS & REPLACEMENT - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION

SYMBOL LEGEND:

- PLAN, SECTION, DETAIL OR ELEVATION NUMBER/SHEET
- OUTLINE OF NEW ROOF
- OUTLINE OF EXISTING ROOFS N.I.C.
- EXISTING OUTLINE OF BUILDING
- INDICATES AREA THAT 1/4" PER FOOT TAPERED INSULATION TO BE INSTALLED
- INDICATES TAPERED INSULATION DIRECTION
- INDICATES PITCHED ROOF DECKING - EXISTING PITCH WILL NOT AFFECT THE IMPACT OF SLOPE REQUIREMENTS OF TAPERED INSULATION SYSTEM
- INDICATES HIGH POINT/LOW POINT OF INSULATION
- TAPERED INSULATION CRICKET SLOPED @ 1/4" PER FOOT
- NEW ROOF DRAIN & SUMP @ NEW LOCATION - SEE DETAIL D/A4 & CONSTRUCTION NOTES #22 & #23
- NEW ROOF DRAIN & SUMP @ NEW LOCATION - SEE DETAIL D/A4 & CONSTRUCTION NOTES #22 & #23
- EXIST. ROOF DRAIN I OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL D/A4
- NEW ROOF DRAIN OVER FLOW SYSTEM @ NEW LOCATION - SEE DETAIL D/A4
- WALL END DRAIN - SEE DETAIL H/A4
- NEW ROOF DRAIN W/ OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL J/A4
- NEW ROOF DRAIN OVER FLOW SYSTEM @ SUMP @ EXIST. LOCATION - SEE DETAIL E/A4 & CONSTRUCTION NOTES #22 & #23
- NEW ROOF DRAIN OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL E/A4 & CONSTRUCTION NOTES #22 & #23
- NEW ROOF DOUBLE DRAIN & SUMP @ EXIST. LOCATION - SEE DETAIL F/A4 & CONSTRUCTION NOTES #22 & #23
- COLLECTION BOX - SEE DETAIL G/A4 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXISTING ROOF DRAIN TO BE REMOVED & LEADER TO BE USED - CONSTRUCTION NOTES #22 & #23
- NEW HORIZONTAL ROOF DRAIN LEADER - SEE CONSTRUCTION NOTES #22 & #23
- METAL STORM GUTTER - SLOPE GUTTER AS INDICATED
- ROOF LEADER - TIE INTO NEW OR EXISTING ROOF GUTTER & UNDERGROUND STORM WATER SYSTEM AS REQ'D - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXISTING ROOF TOP MECHANICAL UNIT TO REMAIN - SEE DETAILS H/A4, J/A4, K/A4 & CONSTRUCTION NOTES #24, #25, #26 & #30
- DASHED LINES REPRESENT MECH. UNIT ABOVE
- VERT STACK - SEE DETAIL N/A4
- PITCH POCKET - SEE DETAIL P/A4
- HOT STACK - SEE DETAIL Q/A4
- CONDUIT CURB - SEE DETAIL R/A4
- EXPANSION JOINT - SEE DETAILS S/A4 & T/A4
- ROOF SEPARATOR - SEE DETAIL U/A4
- MECH. UNIT CURB - SEE DETAIL V/A4 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXTERIOR ROOF LADDER - SEE DETAIL C/A5 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- HEIGHT DIFFERENCE BETWEEN ROOFS FOR EACH LADDER - SEE ABOVE
- METAL SAFETY GUARD RAIL - SEE DETAILS B/A5 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- METAL SAFETY GUARD RAIL TYPE II - SEE DETAILS W/A5 & PROJECT MANUAL FOR ADDITIONAL INFORMATION

ROOF "P"

N.I.C.

ROOF "N"

ROOF SYSTEM: 30 YEAR ARCHITECTURAL ASPHALT SHINGLES
 EXISTING DECK: 1/2" PLYWOOD DECK
 FASTENING SYSTEM: MECH. FASTENED

ROOF "F"

ROOF SYSTEM: EPDM MEMBRANE (COLOR: BLACK)
 EXISTING DECK: 1/2" METAL DECK
 INSULATION: 2" FLAT BASE 1/4" TAPERED
 FASTENING SYSTEM: MECH. FASTENED

ROOF "E"

ROOF SYSTEM: EPDM MEMBRANE (COLOR: BLACK)
 EXISTING DECK: 1/2" METAL DECK
 INSULATION: 2" FLAT BASE 1/4" TAPERED
 FASTENING SYSTEM: MECH. FASTENED

ROOF "N"

ROOF SYSTEM: 30 YEAR ARCHITECTURAL ASPHALT SHINGLES
 EXISTING DECK: 1/2" PLYWOOD DECK
 FASTENING SYSTEM: MECH. FASTENED

ROOF "D"

ROOF SYSTEM: EPDM MEMBRANE (COLOR: BLACK)
 EXISTING DECK: 3" GYPSUM DECK
 INSULATION: 2" FLAT BASE 1/4" TAPERED
 FASTENING SYSTEM: MECH. FASTENED

ROOF "G"

ROOF SYSTEM: EPDM MEMBRANE (COLOR: BLACK)
 EXISTING DECK: 1/2" METAL DECK
 INSULATION: 4" FLAT BASE
 FASTENING SYSTEM: MECH. FASTENED

ROOF "H"

ROOF SYSTEM: EPDM MEMBRANE (COLOR: BLACK)
 EXISTING DECK: 3" GYPSUM DECK
 INSULATION: 2" FLAT BASE 1/4" TAPERED
 FASTENING SYSTEM: MECH. FASTENED

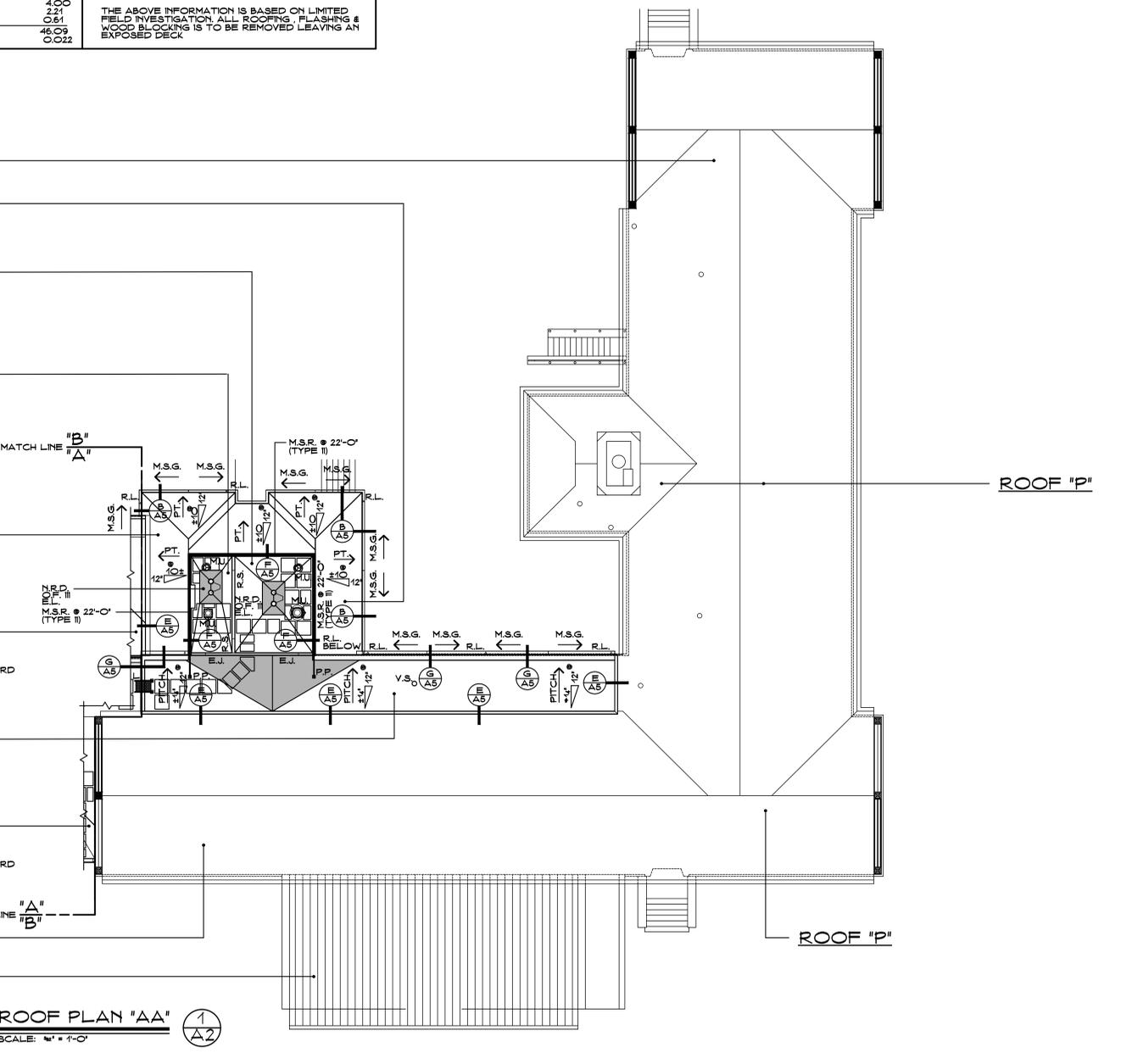
ROOF "P"

N.I.C.

ROOF "Q"

N.I.C.

ROOF PLAN "AA" SCALE: 1/4" = 1'-0"



ROOF AREAS:

BASE BID:	
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ROOF 'A'	5,902 SF.
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TOTAL:	23,642 SF.
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TOTAL:	8,568 SF.
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 SIMSBURY BOARD OF EDUCATION
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 Architects / Engineers / Interior Designers

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 silverpetrucelli.com

Revision: _____ Description: _____ Date: _____ Revised By: _____

Drawing Title:
PART "B" PARTIAL ROOF PLAN & GENERAL INFORMATION

DATE: 29th JANUARY, 2016
 SCALE: 1/4" = 1'-0"
 DRAWN BY: [Signature]
 PROJECT NUMBER: 15.226

STATE PROJECT NO. TMP-128-JFFZ

A2

CODE INFORMATION:

USE GROUP : E & 3A
 CONSTRUCTION CLASS: 3B/3B
 BASIC WIND SPEED: 110 MPH
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FACTORY MUTUAL ENGINEERS & RESEARCH CORPORATION (FM GLOBAL);
 ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 160 FOR FIELD, 190 FOR PERIMETER, & 120 FOR CORNERS, IN ACCORDANCE W/ FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28

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NEC ARTICLES FOR ROOF TOP DISCONNECT SWITCHES & GFCI RECEPTACLES

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IECC CODE REQUIREMENT R-VALUE TOTAL CONNECTICUT ZONE 5A
 IECC REQUIREMENT: U' 0.42 OR LESS R-24 OR MORE
 (U' IS BASED ON THE ROOFING ASSEMBLY)

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EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 6" POLYISO INSUL.	37.44
1" FIBER INSULATION BOARD	4.00
3" GYPSUM DECKING	2.21
INSIDE AIR	0.61
R TOTAL:	57.88
U' TOTAL:	0.017

ROOF: "D"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 2" POLYISO INSUL.	14.25
1" FIBER INSULATION BOARD	4.00
3" GYPSUM DECKING	2.21
INSIDE AIR	0.61
R TOTAL:	34.14
U' TOTAL:	0.029

ROOFS: "C", "K", & "L"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 2" POLYISO INSUL.	22.8
1" METAL DECKING	0.01
INSIDE AIR	0.61
R TOTAL:	28.49
U' TOTAL:	0.035

ROOFS: "E" & "F"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 4" POLYISO INSUL.	22.8
AVG: 1" POLYISO INSUL.	8.55
1" METAL DECKING	0.01
INSIDE AIR	0.61
R TOTAL:	34.19
U' TOTAL:	0.029

ROOF: "G"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 4" POLYISO INSUL.	22.8
AVG: 4" POLYISO INSUL.	0.01
1" METAL DECKING	0.01
INSIDE AIR	0.61
R TOTAL:	25.64
U' TOTAL:	0.039

ROOF: "H" & "J"

OUTSIDE AIR	0.17
EPDM MEMBRANE	0.05
PERLITE BOARD	2.0
BASE: 2" POLYISO INSUL.	11.4
AVG: 4" POLYISO INSUL.	25.65
1" FIBER INSULATION BOARD	4.00
3" GYPSUM DECKING	2.21
INSIDE AIR	0.61
R TOTAL:	46.09
U' TOTAL:	0.022

ROOFS: "M" & "N"

OUTSIDE AIR	0.17
ARCH. ASPHALT SHINGLES	0.44
ICE & WATER SHIELD	0.06
1/2" PLYWOOD DECKING	0.77
6" BATT INSULATION	25.3
INSIDE AIR	0.61
R TOTAL:	27.35
U' TOTAL:	0.037

DEMOLITION NOTES

- AT ROOFS "A" THRU "K" - REMOVE ALL OF THE FOLLOWING:
 - (1) LAYER OF SINGLE PLY MEMBRANE
 - RIGID INSULATION
 - ROOF DRAINS, SUMPS, & ALL INDICATED SCUPPERS
 - WOOD BLOCKING (PERIMETER & CURBS) UNLESS OTHERWISE NOTED
 - ROOF FLASHING MATERIAL
 - VENT STACK FLASHINGS
 - HOT STACK FLASHINGS & INSULATION
 - CANT STRIPS & TAPERED EDGE STRIPS
 - REMOVE EXIST. MECH. UNIT CURBS AS REQ'D.
 - PERIMETER METAL FASCIA/CAP FLASHINGS (UNLESS OTHERWISE NOTED)
 - FLASHINGS (UNLESS OTHERWISE NOTED)
- AT ROOFS "M" & "N" - REMOVE ALL OF THE FOLLOWING:
 - ASPHALT SHINGLES
 - BUILDING PAPER
 - ICE & WATER SHIELD
 - METAL DRIP EDGES AT EAVES AND RAKES
 - ROOF FLASHING MATERIAL
 - PERIMETER METAL FASCIA/CAP FLASHINGS (UNLESS OTHERWISE NOTED)
 - METAL GUTTERS & HANGERS
 - METAL DOWNSPOUTS, SUPPORTS & TRANSITION BOOTS
- REMOVE MECH. UNIT & DISCARD (VERIFY W/ OWNER IF NOT FUNCTIONING)
- REMOVE EXIST. ROOF LADDER & DISCARD

THE ABOVE INFORMATION IS BASED ON LIMITED FIELD INVESTIGATION. ALL ROOFING, FLASHING & WOOD BLOCKING IS TO BE REMOVED LEAVING AN EXPOSED DECK

GENERAL NOTES:

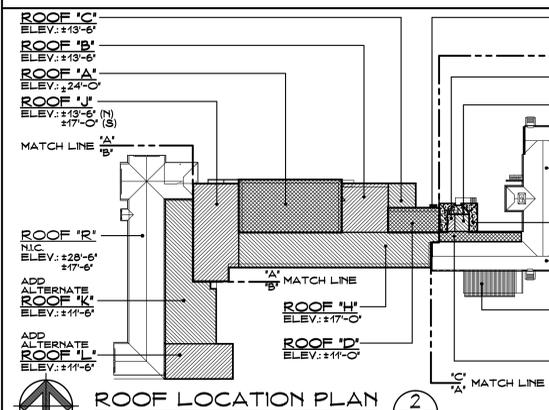
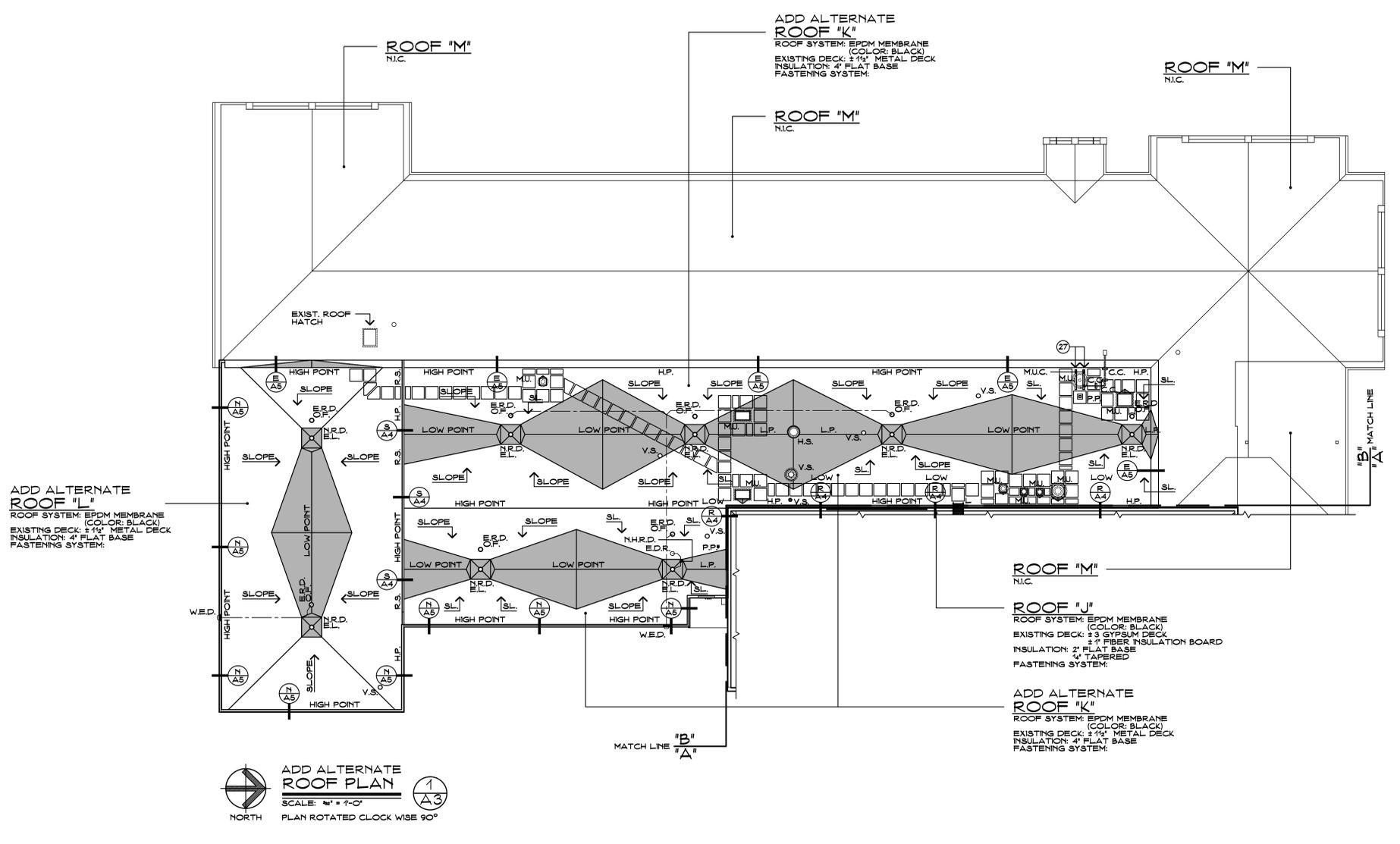
- SEE PROJECT MANUAL FOR ALLOWANCES AND/OR UNIT PRICES
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS @ EACH ROOF PRIOR TO BID
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/VA LEVEL (AFTER DEMOLITION) TO VERIFY IF DECK IS SLOPED AS INDICATED ON DRAWINGS OR FLAT. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY OF THE CHANGES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PERCED OR DAMAGED
- CONTRACTOR IS RESPONSIBLE TO MAKE ROOF WATERTIGHT, WHICH INCLUDES EVERYTHING THAT IS LOCATED AND/OR PENETRATES THE ROOF @ THE END OF EACH WORK DAY
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED 'EXISTING'
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE FIRE TREATED (F.T.) SEE PROJECT MANUAL FOR FASTENING REQUIREMENTS
- ALL WOOD BLOCKING INDICATED IN DETAILS ON DRAWING IS TO BE ANCHORED TO EXISTING STRUCTURE. SEE PROJECT MANUAL.
- ALL ROOFS TO RECEIVE 1/2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- NEW INSULATION TO BE A MINIMUM 2" @ ALL EXISTING & NEW ROOF DRAINS.
- ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT UNLESS OTHERWISE NOTED.
- COORDINATION OF CRICKETS AROUND EXISTING HVAC UNITS IS REQUIRED TO AVOID PONDING
- ALL MEMBRANE FLASHING INDICATED IN DETAILS ON DRAWINGS IS TO EXTEND A MINIMUM OF 6" (VERTICAL AND/OR HORIZONTAL) OR WHAT IS REQUIRED BY MANUFACTURER ONTO THE FLAT PORTION OF THE ROOF
- ALL EQUIPMENT INDICATED IS APPROXIMATE. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & REINSTALLATION OF ALL HVAC UNITS (MIN. OF 6") INCLUDING ALL ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL WIRING, PIPING, & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM HEIGHTS. DUCTWORK MAY NEED TO BE CUT, REMOVED, LIFTED, & RE-INSTALLED TO MAINTAIN MANUFACTURER'S 6" MIN. FLASHING HEIGHT. VERIFY WORK PRIOR TO BID
- ALL DRAIN PIPING IS INSTALLED W/INSULATION ABOVE THE EXISTING CEILING. WHEN PIPING PENETRATES ANY WALLS, A FIRESTOPPING SYSTEM MUST BE INSTALLED. THE EXACT PIPING ROUTE WILL BE DETERMINED IN THE FIELD. VERIFY PROPOSED DRAIN PIPING LAYOUT PRIOR TO BID. MAKE MINOR ADJUSTMENTS IN THE ROUTE @ NO ADDITIONAL COST TO THE OWNER OF THE BUILDING
- SHAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS TO NEAREST MAINHOLE OUTSIDE
- SHAKE/CLEAN OUT ALL EXISTING VENT STACKS PRIOR TO INSTALLING METAL SLEEVES
- ALL ANTENNAE LIGHTNING PROTECTION, CONDUITS, & ANY OTHER OBJECTS TO REMAIN ON NEW ROOF, AFFECTED BY THE SCOPE OF WORK, ARE TO BE REMOVED & REINSTALLED
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATE THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER
- SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDED AS REQUIRED TO MATCH ADJACENT CONDITIONS
- CONTRACTOR ASSUMES THE RESPONSIBILITY THAT ALL SECONDARY DRAIN PIPING TOPS ARE A MAXIMUM HEIGHT OF 6" ABOVE LOWEST POINT OF THE ROOF & DO NOT EXCEED THE HEIGHT OF THE ROOF EDGE. PIPE TOPS TO BE LASER VERIFIED AFTER INSTALLATION A MAXIMUM OF 6". THOSE HIGHER NEED METAL SCUPPERS INSTALLED. CONTACT ARCHITECT IF EDGE IS ABOVE 6"
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION PHASING OF EXIST. MECH. UNITS & ALARM SYSTEMS DISCONNECTS & RECONNECTIONS EACH DAY DURING INSTALLATION OF ROOFING SYSTEM. COORDINATE W/OWNER & ARCHITECT FOR SCHEDULING PRIOR TO DAY OF WORK. PROVIDE PROTECTION FROM FUMES, GASES, & DUST FROM PENETRATING DUCTWORK & INTERIOR SPACES OF BUILDING. RECONNECT ALL UNITS TO BE FULLY OPERATIONAL BY THE END OF THE WORK DAY, UNLESS DIRECTED OTHERWISE BY OWNER

CONSTRUCTION NOTES

- FOR ROOF DRAIN TYPE I DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (A/A4)
- FOR ROOF DRAIN TYPE II DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (E/A4)
- FOR ROOF DRAIN TYPE III DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (F/A4)
- FOR COLLECTION BOX PROFILES DETAILS @ ALL GYPSUM DECK - SEE DETAIL - (G/A4)
- FOR END WALL DRAIN DETAILS @ ALL GYPSUM DECK - SEE DETAIL - (H/A4)
- FOR ROOF DRAIN TYPE III DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (J/A4)
- FOR MECH. UNIT TYPE I DETAIL @ ALL METAL DECK - SEE DETAIL - (K/A4)
- FOR MECH. UNIT TYPE II DETAIL @ ALL METAL DECK - SEE DETAIL - (L/A4)
- FOR MECH. UNIT TYPE III DETAIL @ ALL METAL DECK - SEE DETAIL - (M/A4)
- FOR VENT STACK DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (N/A4)
- FOR PITCH POCKET DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (P/A4)
- FOR HOT FLUE DETAIL @ ALL METAL DECK - SEE DETAIL - (Q/A4)
- FOR CONDUIT CURB DETAIL @ ALL METAL DECK - SEE DETAIL - (R/A4)
- FOR EXPANSION JOINT TYPE I DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (S/A4)
- FOR EXPANSION JOINT TYPE II DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (T/A4)
- FOR ROOF SEPARATOR DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (U/A4)
- FOR MECH. UNIT CURB DETAIL @ ALL METAL DECK - SEE DETAIL - (V/A4)
- FOR ROOF REGLET DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (W/A4)
- FOR 'TYPICAL GUARDRAIL' DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (A/A5)
- FOR GUARDRAIL TYPE I DETAIL @ ALL GYPSUM DECK - SEE DETAIL - (B/A5)
- FOR TYPICAL ROOF LADDER DETAIL @ ALL METAL DECK - SEE DETAIL - (C/A5)
- HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/8" PER FOOT. VERTICAL LEADERS INTO EXIST. PIPING AS REQ'D. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQUIRED BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING
- EXISTING HORIZONTAL ROOF LEADERS TO REMAIN. CONTRACTOR TO TIE NEW ROOF DRAIN & NEW 4" CAST IRON VERTICAL ROOF LEADER INTO EXIST. - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION
- INSTALL ROOF LEADERS TO AVOID WINDOWS BELOW
- TEMPORARILY REMOVE & REINSTALL EXIST. MECH. UNIT. REMOVE EXIST. CURB. INSTALL NEW CURB - SEE DETAILS G/A4, H/A4, & J/A4
- TEMPORARILY BRACE EXIST. MECH. UNIT DUCTWORK. REMOVE EXIST. CURB SUPPORTS/PITCH POCKETS @ ALL EXISTING LOCATIONS & INSTALL NEW SUPPORTS. PATCH & REPAIR ANY DAMAGE TO DUCTWORK COVERING MEMBRANE - SEE DETAILS G/A4, H/A4, & J/A4
- CONTRACTOR TO INSTALL NEW F.T. WOOD BLOCKING 6" TO MEET MANUFACTURER'S MIN. FLASHING HEIGHT
- CONTRACTOR TO INFILL HOLE IN DECK @ LOCATIONS OF REMOVED MECH. UNITS. REMOVE CURB & INFILL W/METAL DECK TO MATCH EXIST. AS REQ'D.
- CONTRACTOR TO INSTALL F.T. WOOD CURB FASTENED TO DECK TO MEET SEISMIC CODE REQUIREMENTS. INSTALL AS REQ'D. NOT TO PREVENT WATER FLOW & PONDING
- CONTRACTOR SHALL REPLACE ALL OR PROVIDE NEW ROOF TOP EQUIPMENT DISCONNECT SWITCHES IN THIS PROJECT SCOPE. NEW SWITCHES SHALL BE NON-FUSED, NEMA 3R RATED & SHALL MATCH THE VOLTAGE & CURRENT RATINGS OF THE EQUIPMENT SERVED. NEW DISCONNECT SWITCHES SHALL BE MOUNTED TO A NON-REMOVABLE PANEL ON THE EQUIPMENT SERVED OR THE CONTRACTOR SHALL PROVIDE A SUITABLE UNI-STRUT SUPPORT FOR PROPER MOUNTING. IN ALL CASES, THE NEW DISCONNECT SWITCH SHALL BE W/IN VIEW OF THE EQUIPMENT SERVED. MODIFY & EXTEND BRANCH CIRCUIT WIRING AS REQ'D. FOR INSTALLATION OF THE DISCONNECT SWITCH. NEW SWITCH MATERIALS & INSTALLATION SHALL BE COMPLIANT W/APPLICABLE REQUIREMENTS OF THE CURRENT NEC ARTICLES APPLICABLE REQUIREMENTS OF THE CURRENT NEC 424.19, 430 IX & 440 PART II
- CONTRACTOR SHALL PROVIDE NEW GFCI RECEPTACLES IN WATERPROOF BOXES W/IN 25'-0" OF ALL HVAC EQUIPMENT PER NEC 210.63. TIE RECEPTACLES INTO EXIST. GENERAL PURPOSE RECEPTACLE CIRCUIT SERVING THE SPACE BELOW
- CONTRACTOR TO REMOVE & RE-INSTALL EXIST. WEATHER STATION AS REQ'D. COORDINATE W/ OWNER & VERIFY UNIT IS WORKING AFTER RE-INSTALLATION
- SEE PHOTO 1/A5 & DETAIL 3/A5 FOR LOCATION OF SAW CUTTING EXIST. BROWN STONE & INSULATION OF METAL REGLET FLASHING
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF GYPSUM & METAL DECK REPAIRS & REPLACEMENT - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION

SYMBOL LEGEND:

- PLAN, SECTION, DETAIL OR ELEVATION NUMBER/SHEET
- OUTLINE OF NEW ROOF
- OUTLINE OF EXISTING ROOFS N.I.C.
- EXISTING OUTLINE OF BUILDING
- INDICATES AREA THAT 1/2" PER FOOT TAPERED INSULATION TO BE INSTALLED
- INDICATES TAPERED INSULATION DIRECTION
- INDICATES PITCHED ROOF DECKING - EXISTING PITCH WILL NOT AFFECT THE IMPACT OF SLOPE REQUIREMENTS OF TAPERED INSULATION SYSTEM
- INDICATES HIGH POINT/LOW POINT OF INSULATION
- TAPERED INSULATION CRICKET SLOPED @ 1/4" PER FOOT
- NEW ROOF DRAIN & SUMP @ NEW LOCATION - SEE DETAIL D/A4 & CONSTRUCTION NOTES #22 & #23
- NEW ROOF DRAIN & SUMP @ NEW LOCATION - SEE DETAIL E/A4 & CONSTRUCTION NOTES #22 & #23
- EXIST. ROOF DRAIN I OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL I/A4
- NEW ROOF DRAIN OVER FLOW SYSTEM @ NEW LOCATION - SEE DETAIL D/A4
- WALL END DRAIN - SEE DETAIL H/A4
- NEW ROOF DRAIN W/ OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL J/A4
- NEW ROOF DRAIN OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL E/A4 & CONSTRUCTION NOTES #22 & #23
- NEW ROOF DRAIN OVER FLOW SYSTEM @ EXIST. LOCATION - SEE DETAIL F/A4 & CONSTRUCTION NOTES #22 & #23
- NEW ROOF DOUBLE DRAIN & SUMP @ EXIST. LOCATION - SEE DETAIL F/A4 & CONSTRUCTION NOTES #22 & #23
- COLLECTION BOX - SEE DETAIL G/A4 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXISTING ROOF DRAIN TO BE USED - CONSTRUCTION NOTES #22 & #23
- NEW HORIZONTAL ROOF DRAIN LEADER - SEE CONSTRUCTION NOTES #22 & #23
- METAL STORM GUTTER - SLOPE GUTTER AS INDICATED
- ROOF LEADER - TIE INTO NEW OR EXISTING ROOF GUTTER & UNDERGROUND STORM WATER SYSTEM AS REQ'D. - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXISTING ROOF TOP MECHANICAL UNIT TO REMAIN - SEE DETAILS H/A4, J/A4, K/A4 & CONSTRUCTION NOTES #24, #25, #26 & #30
- DASHED LINES REPRESENT MECH. UNIT ABOVE
- VENT STACK - SEE DETAIL N/A4
- PITCH POCKET - SEE DETAIL P/A4
- HOT STACK - SEE DETAIL Q/A4
- CONDUIT CURB - SEE DETAIL R/A4
- EXPANSION JOINT - SEE DETAILS S/A4 & T/A4
- ROOF SEPARATOR - SEE DETAIL U/A4
- MECH. UNIT CURB - SEE DETAIL V/A4 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXISTING ROOF TOP MECHANICAL UNIT TO REMAIN - SEE DETAILS H/A4, J/A4, K/A4 & CONSTRUCTION NOTES #24, #25, #26 & #30
- HEIGHT DIFFERENCE BETWEEN ROOFS FOR EACH LADDER - SEE ABOVE
- METAL SAFETY GUARD RAIL - SEE DETAIL A/A5 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXISTING ROOF TOP MECHANICAL UNIT TO REMAIN - SEE DETAILS H/A4, J/A4, K/A4 & CONSTRUCTION NOTES #24, #25, #26 & #30
- METAL SAFETY GUARD RAIL TYPE II - SEE DETAILS B/A5 & PROJECT MANUAL FOR ADDITIONAL INFORMATION
- EXISTING ROOF TOP MECHANICAL UNIT TO REMAIN - SEE DETAILS H/A4, J/A4, K/A4 & CONSTRUCTION NOTES #24, #25, #26 & #30



ROOF AREAS:

BASE BID:	
EPDM ROOFS:	
ROOF "A"	5,902 SF.
ROOF "B"	2,418 SF.
ROOF "C"	7,202 SF.
ROOF "D"	1,377 SF.
ROOF "E"	145 SF.
ROOF "F"	264 SF.
ROOF "G"	907 SF.
ROOF "H"	7,259 SF.
ROOF "J"	4,620 SF.
TOTAL:	23,642 SF.
ASPHALT SHINGLE ROOFS:	
ROOF "M"	22 SF.
ROOF "N"	972 SF.
TOTAL:	994 SF.
ADD ALTERNATE:	
ROOF "K"	5,975 SF.
ROOF "L"	2,593 SF.
TOTAL:	8,568 SF.
BASE BID & ADD ALTERNATE:	
ROOF "A"	24,636 SF.
ADD ALTERNATE:	8,568 SF.
TOTAL JOB:	33,204 SF.

NOTE: THIS AREA IS APPROXIMATE - CONTRACTOR TO FIELD VERIFY.

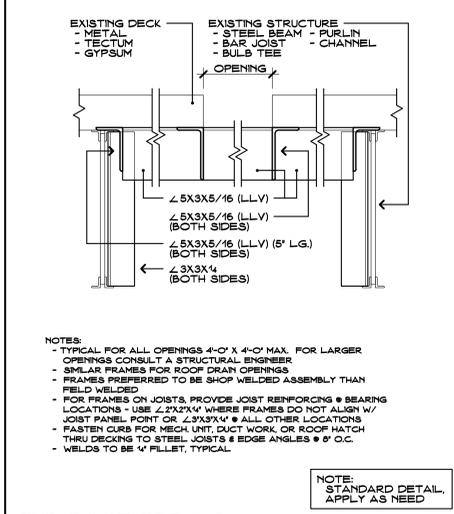
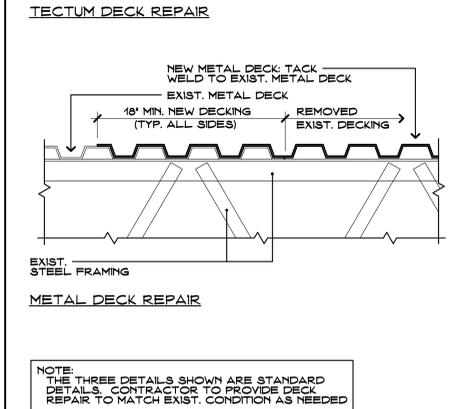
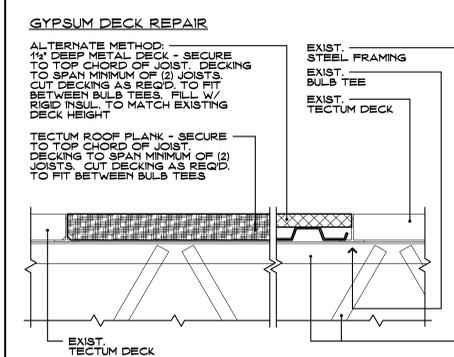
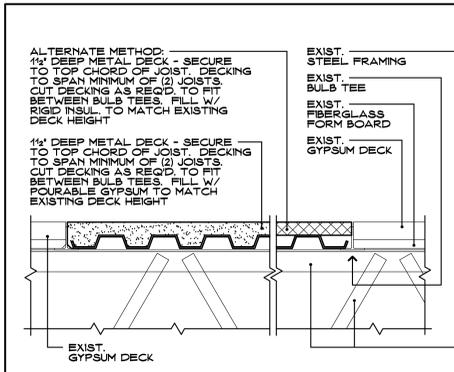
Project Title:
 PARTIAL ROOF REPLACEMENT FOR:
 SIMSBURY BOARD OF EDUCATION
CENTRAL SCHOOL
 29 MASSACHUSETT STREET,
 SIMSBURY, CONNECTICUT. 06070-2118

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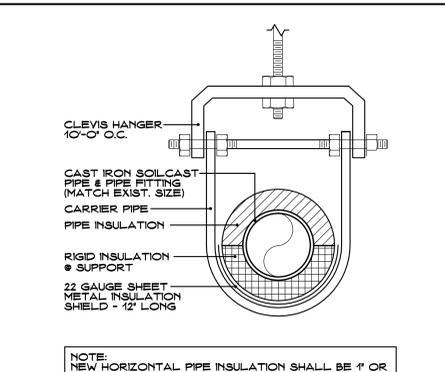
Revision	Description	Date	Revised By:

Drawing Title:
ADD ALTERNATE PARTIAL ROOF PLAN & GENERAL INFORMATION
 STATE PROJECT NO. TMP-128-JFFZ

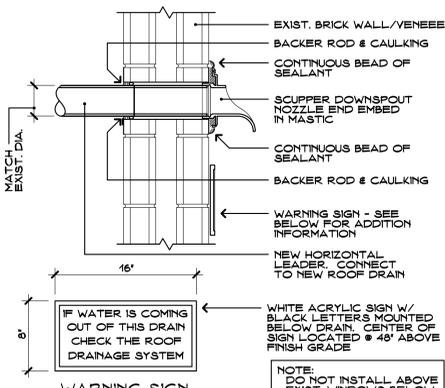
Date: 29th JANUARY, 2016
 Scale: 1/4" = 1'-0"
 Drawn By: [Signature]
 Project Number: 15.226
A3



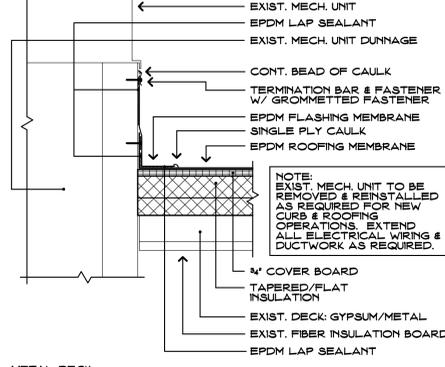
TYP. ROOF OPENING REINFORCEMENT DETAIL (B) (A4)
SCALE: 1/2" = 1'-0"



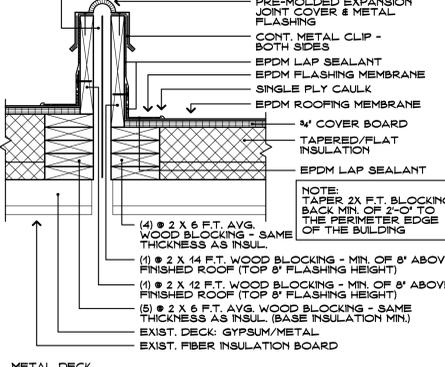
METAL DECK GYPSUM DECK PIPE HANGER DETAIL (C) (A4)
SCALE: 1/2" = 1'-0"



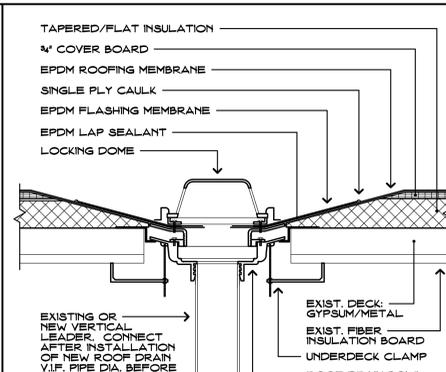
END DRAIN WALL DETAIL (H) (A4)
SCALE: 1/2" = 1'-0"



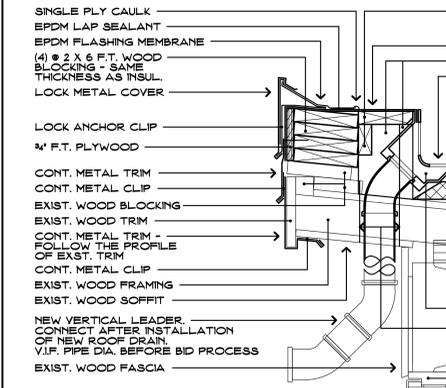
METAL DECK GYPSUM DECK MECH. UNIT TYPE III DETAIL (M) (A4)
SCALE: 1/2" = 1'-0"



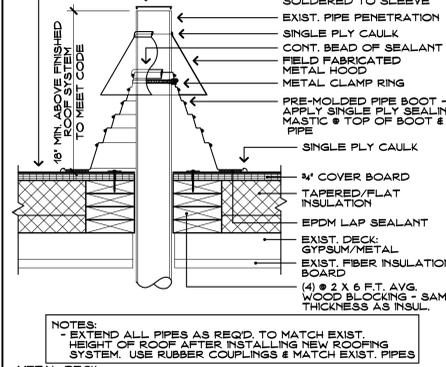
METAL DECK GYPSUM DECK EXPANSION JOINT DETAIL TYPE I (S) (A4)
SCALE: 1/2" = 1'-0"



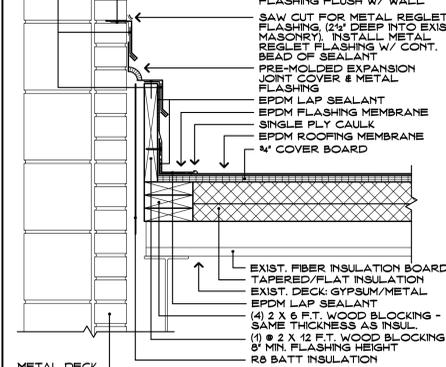
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SCALE: 1/2" = 1'-0"



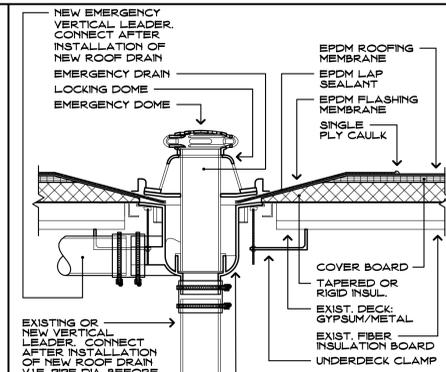
GYPSUM DECK ROOF DRAIN DETAIL IV (J) (A4)
SCALE: 1/2" = 1'-0"



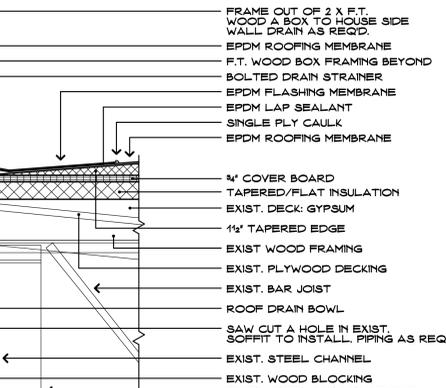
METAL DECK GYPSUM DECK VENT STACK DETAIL (N) (A4)
SCALE: 1/2" = 1'-0"



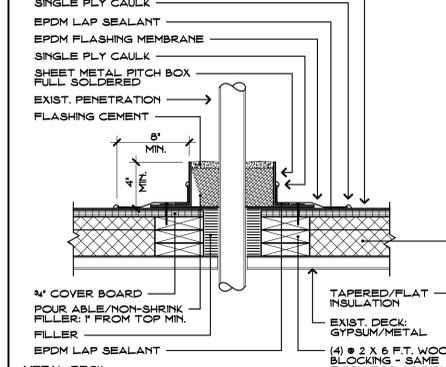
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SCALE: 1/2" = 1'-0"



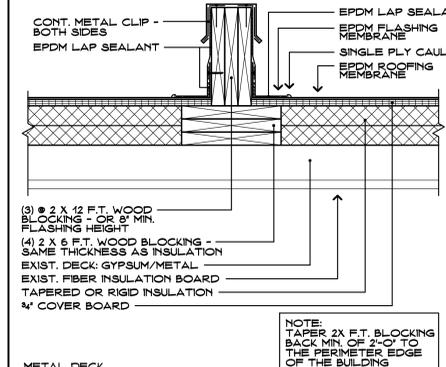
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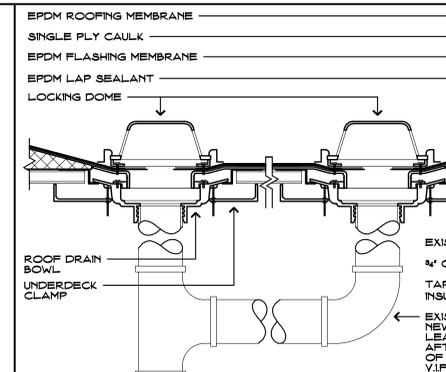
METAL DECK GYPSUM DECK MECH. UNIT TYPE I DETAIL (K) (A4)
SCALE: 1/2" = 1'-0"



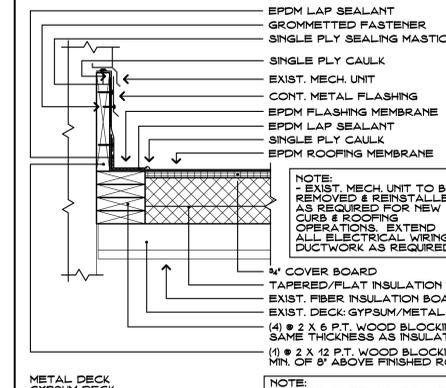
METAL DECK GYPSUM DECK PITCH POCKET DETAIL (P) (A4)
SCALE: 1/2" = 1'-0"



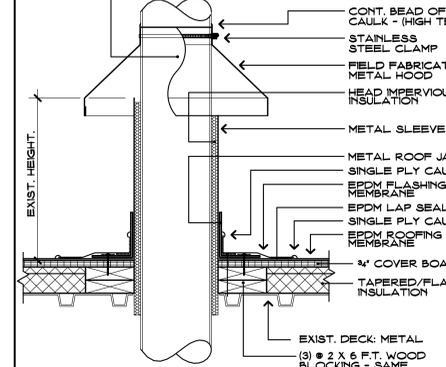
METAL DECK GYPSUM DECK ROOF SEPARATOR DETAIL (U) (A4)
SCALE: 1/2" = 1'-0"



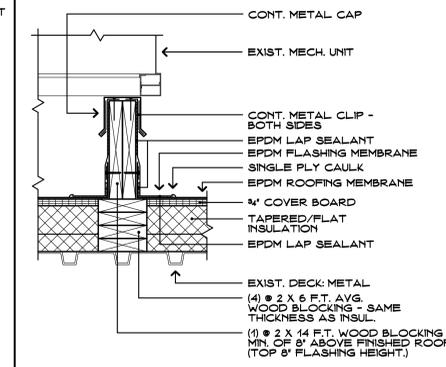
METAL DECK GYPSUM DECK ROOF DRAIN DETAIL TYPE III (F) (A4)
SCALE: 1/2" = 1'-0"



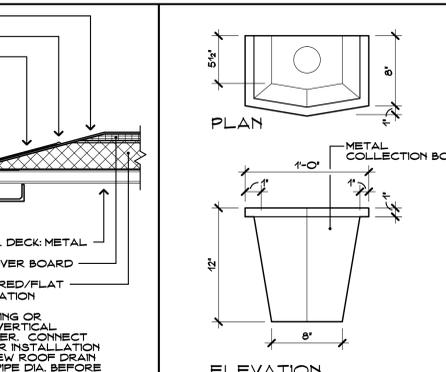
METAL DECK GYPSUM DECK MECH. UNIT TYPE II DETAIL (L) (A4)
SCALE: 1/2" = 1'-0"



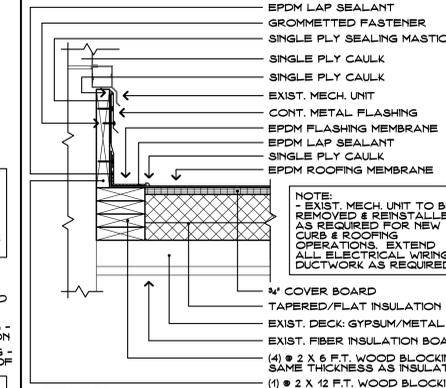
METAL DECK GYPSUM DECK HOT FLUE DETAIL (Q) (A4)
SCALE: 1/2" = 1'-0"



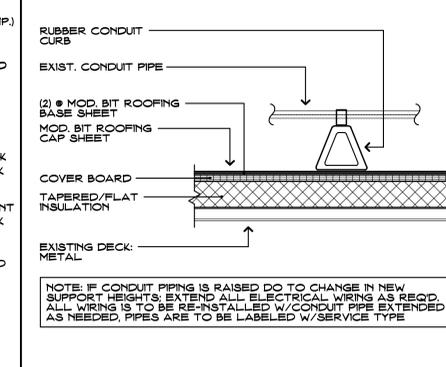
METAL DECK GYPSUM DECK MECH. UNIT CURB DETAIL (V) (A4)
SCALE: 1/2" = 1'-0"



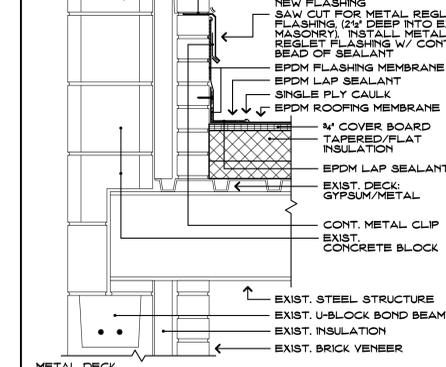
METAL DECK GYPSUM DECK MECH. UNIT TYPE II DETAIL (L) (A4)
SCALE: 1/2" = 1'-0"



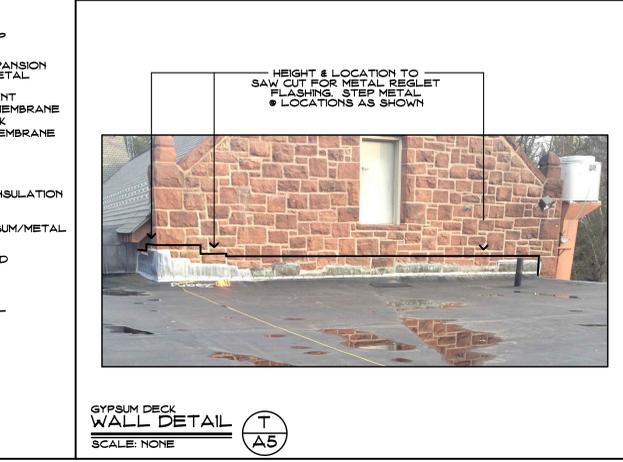
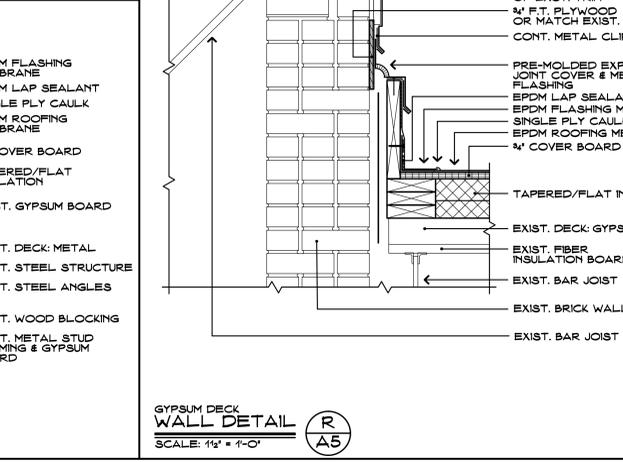
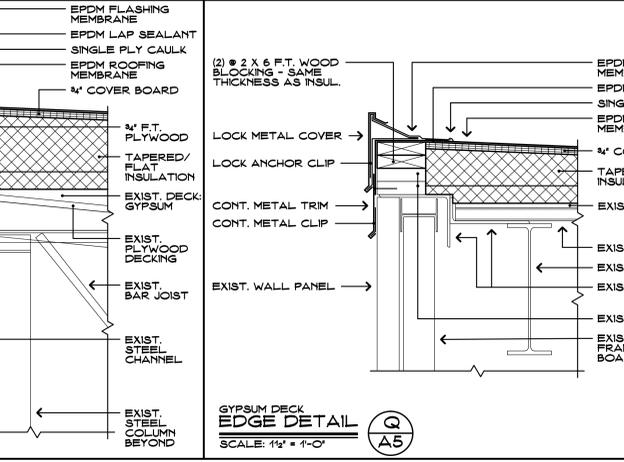
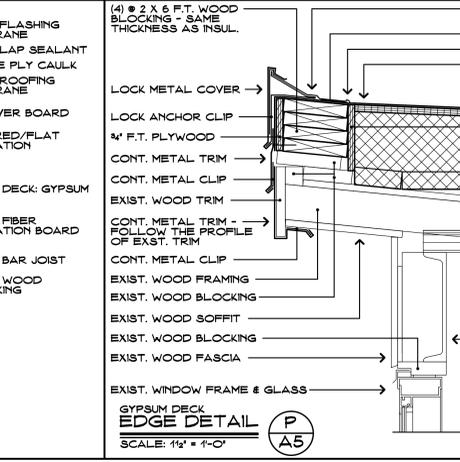
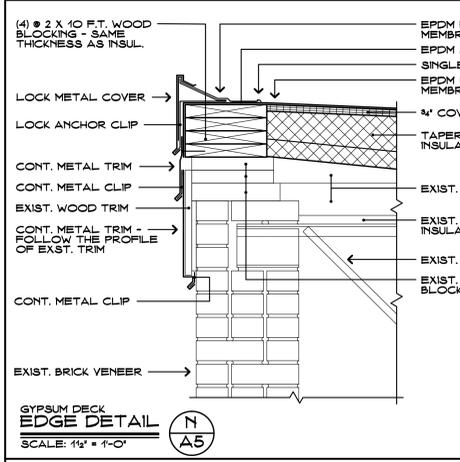
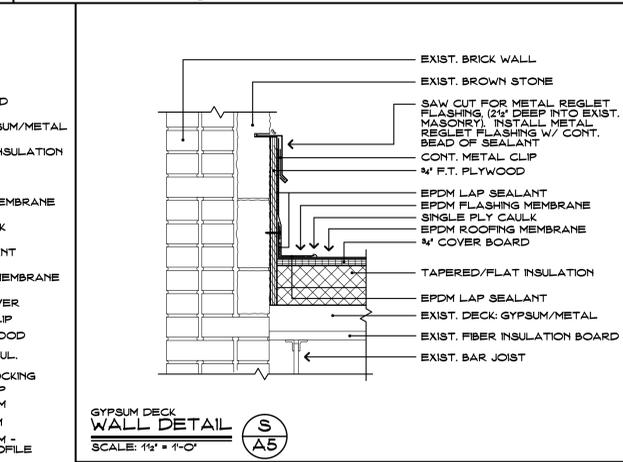
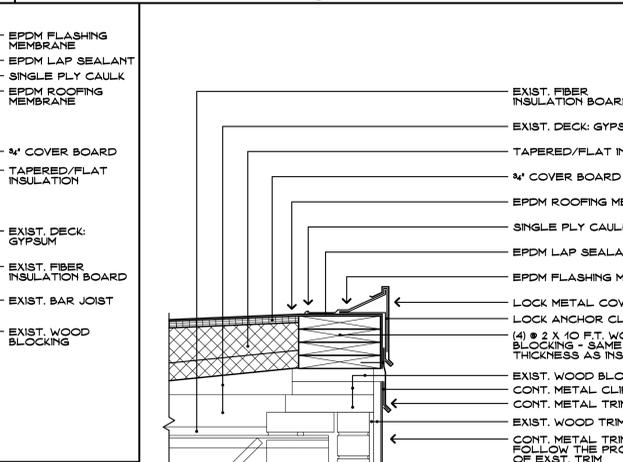
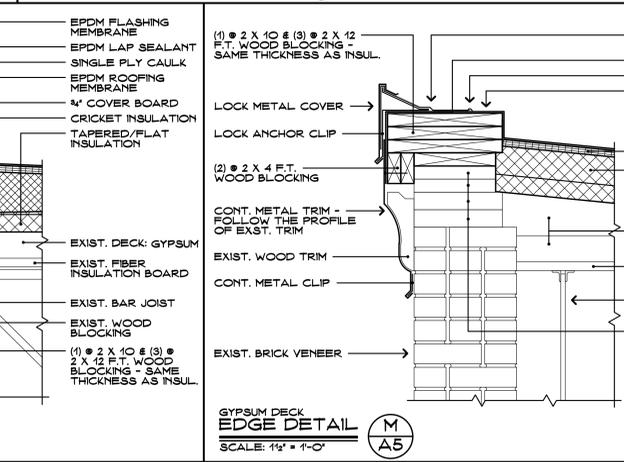
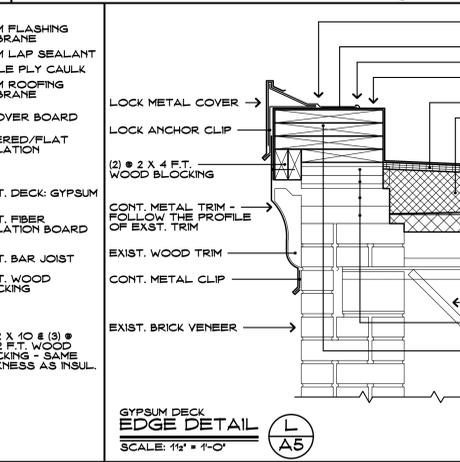
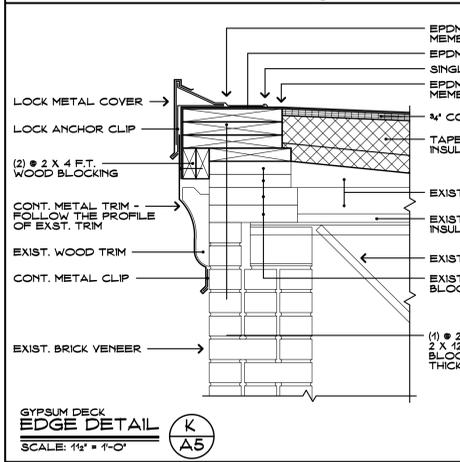
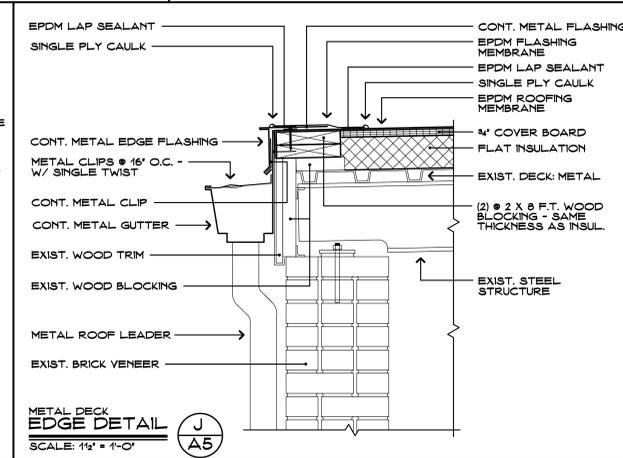
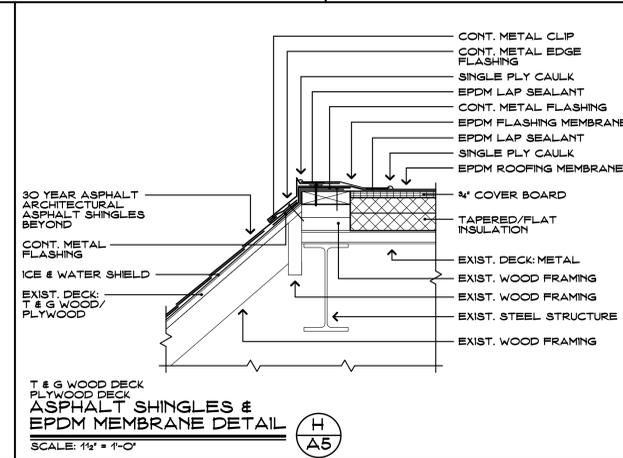
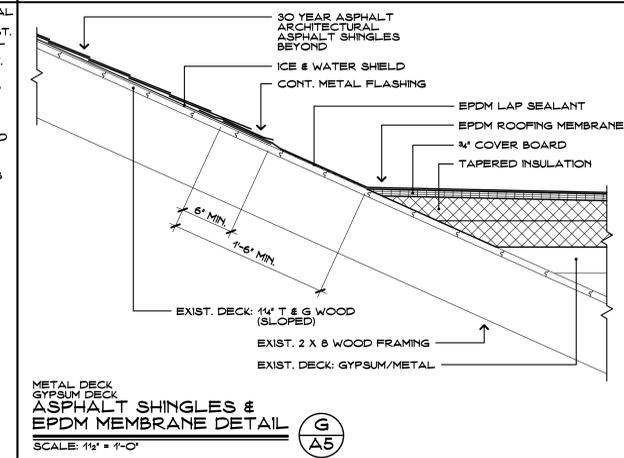
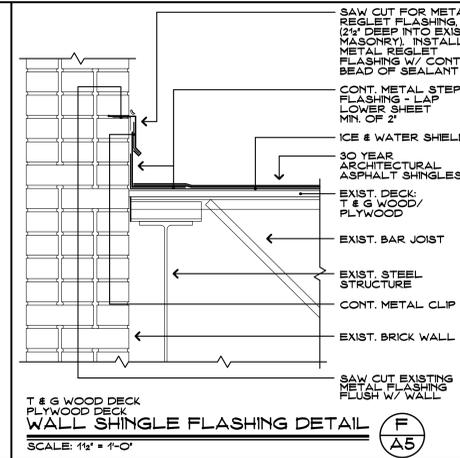
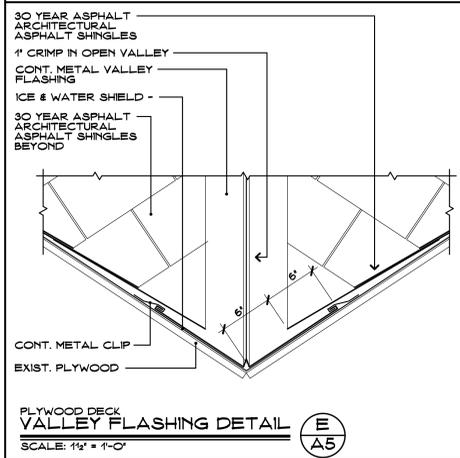
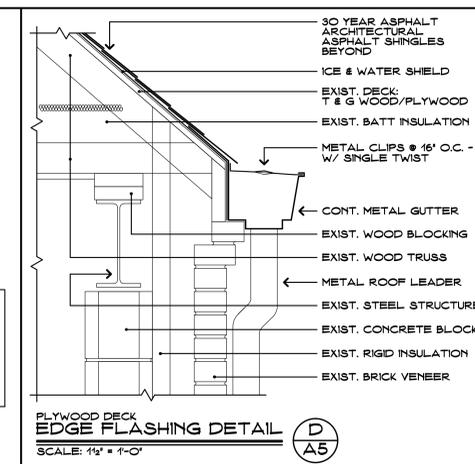
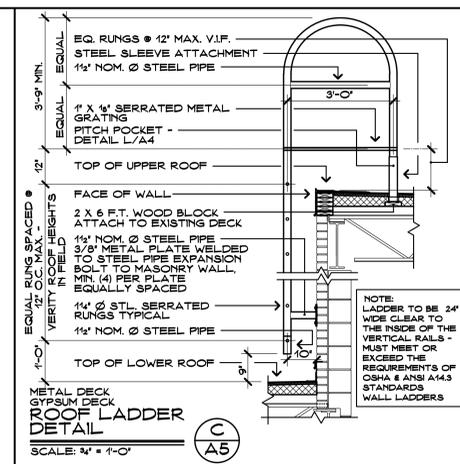
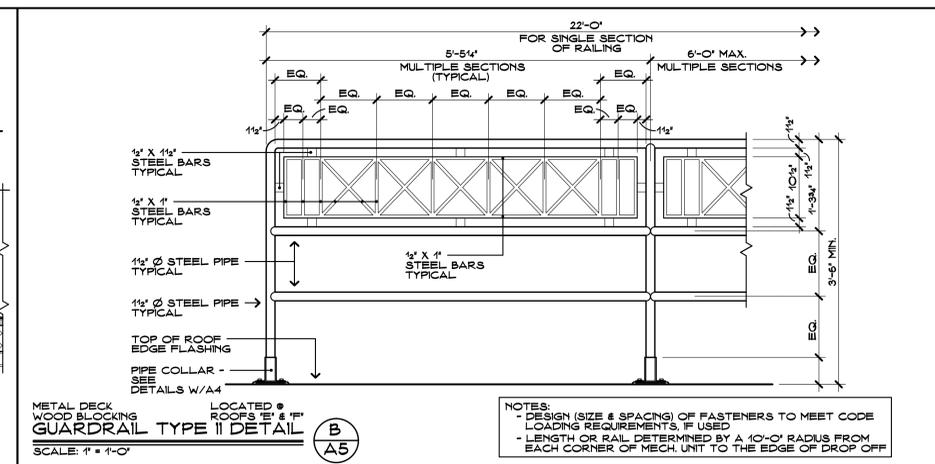
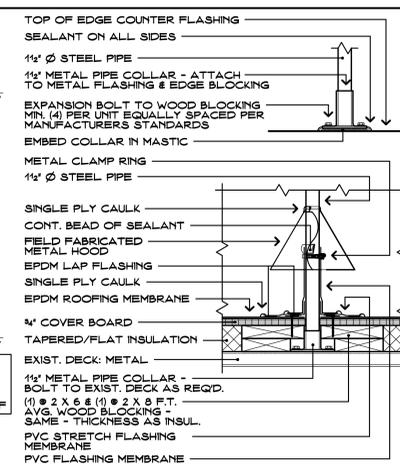
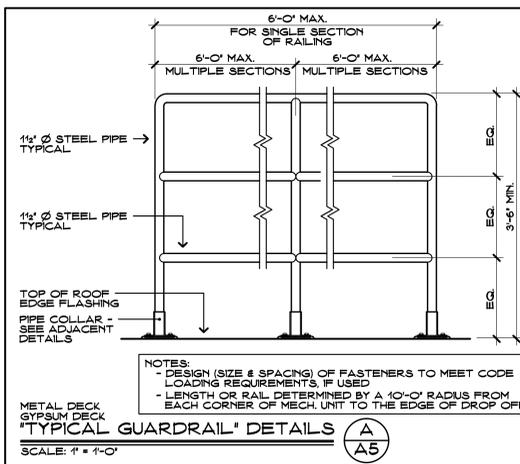
METAL DECK GYPSUM DECK MECH. UNIT TYPE II DETAIL (L) (A4)
SCALE: 1/2" = 1'-0"



METAL DECK GYPSUM DECK CONDUIT CURB DETAIL (R) (A4)
SCALE: 1/2" = 1'-0"



METAL DECK GYPSUM DECK REGLET DETAIL (W) (A4)
SCALE: 1/2" = 1'-0"



Project Title: PARTIAL ROOF REPLACEMENT FOR: SIMSBURY BOARD OF EDUCATION CENTRAL SCHOOL 29 MASSACO STREET, SIMSBURY, CONNECTICUT. 06070-2118

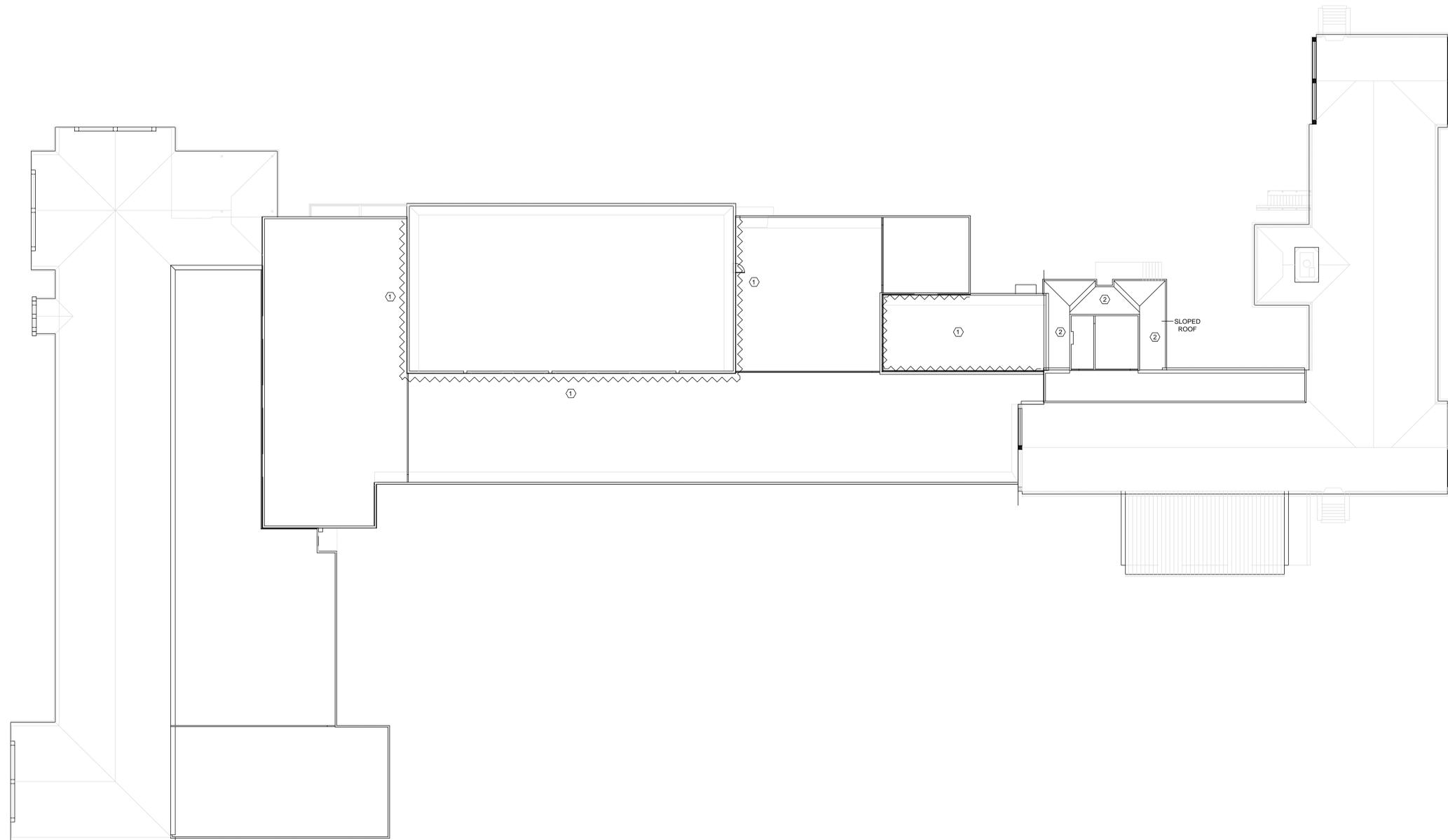
Project Title: PARTIAL ROOF REPLACEMENT FOR: SIMSBURY BOARD OF EDUCATION CENTRAL SCHOOL 29 MASSACO STREET, SIMSBURY, CONNECTICUT. 06070-2118

SILVER / PETRUCELLI + ASSOCIATES Architects / Engineers / Interior Designers 3190 Whitney Avenue, Hamden, CT 06518-2340 Tel. 203 230 9007 Fax. 203 230 8247 silverpetrucelli.com

Revision Description Date Revised By: ROOF DETAILS

Date: 29th JANUARY, 2016 Scale: 1/4" = 1'-0" Drawing Number: A5 Project Number: 15.226 STATE PROJECT NO. TMP-128-JFFZ

KEY:
 AC=ASBESTOS CONTAINING
 PCB=POLYCHLORINATED BIPHENYLS
 ~ REMOVE AND DISPOSE OF ALL AC RESIDUAL FELTS AT
 ROOF/WALL JUNCTION
 ① REMOVE AND DISPOSE OF ALL PCB TAR ON BRICK AT
 ROOF/WALL JUNCTION. DISPOSE OF AS CONNECTICUT
 REGULATED PCB WASTE CR-01
 ② REMOVE AND DISPOSE OF ALL PCB CONTAINING TAR PAPER
 AND ASSOCIATED ASPHALT SHINGLES ON SLOPED WOOD ROOF
 DECKING. DISPOSE OF AS CONNECTICUT REGULATED PCB
 WASTE CR-01



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Project Title:
 PARTIAL ROOF REPLACEMENT FOR:
 SIMSBURY BOARD OF EDUCATION
CENTRAL SCHOOL
 29 MASSACO STREET,
 SIMSBURY, CONNECTICUT. 06070-2118



SILVER / PETRUCCELLI + ASSOCIATES
 Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340
 Tel. 203 230 9007 Fax. 203 230 8247
 silverpetrucci.com

Revision:	Description:	Date:	Revised By:

Drawing Title:
**HAZARDOUS MATERIALS
 ABATEMENT ROOF PLAN**

STATE PROJECT NO. TMP-128-JFFZ

Date:
 29th JANUARY, 2016
 Scale:
 1/16"=1'-0"
 Drawn By:
 VB
 Project Number:
 16-046.1011
 Drawing Number:
HM-1