

SUPER STORM SANDY *Response and Recovery*

STATE OF CONNECTICUT DEPARTMENT OF HOUSING COMMUNITY DEVELOPMENT BLOCK GRANT DISASTER RECOVERY PROGRAM

OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

GOVERNOR OF CONNECTICUT:
DANNEL P. MALLOY



COMMISSIONER OF HOUSING:
EVONNE M. KLEIN

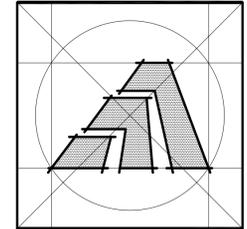
APPLICATION NO. 1020

DAGGS RESIDENCE
189 HILLSIDE AVE
MILFORD, CONNECTICUT 06460

APRIL 15, 2016



ARCHITECT:



Amaya Architects

American Institute of Architects

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S.M.E.P. ENGINEER:



Engineering • Construction • EHS • Energy • Waste

Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-8822
An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.08

GENERAL NOTES

- SCOPE OF WORK INCLUDES: NEW SINGLE FAMILY HOME CONSTRUCTION LOCATED IN AE-13 FLOOD ZONE.
- THE WORK DESCRIBED IN THESE DOCUMENTS IS TO MEET HIGHEST QUALITY STANDARDS IN BOTH MATERIAL AND WORKMANSHIP. ANY SUBSTANDARD WORK WILL BE REJECTED.
- ALL WORK SHALL CONFORM TO THE MUNICIPALITY'S APPLICABLE BUILDING CODE, FIRE DEPT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES AS REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND FIELD CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWING.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR ALL OTHER TRADES (PLUMBING, ELECTRICAL, ETC.) IF APPLICABLE.
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGNING IF APPLICABLE.
- THE CONTRACTOR UPON COMPLETION OF JOB, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR BUILDING DEPT INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN CERTIFICATE OF OCCUPANCY.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONDITIONS THAT IS IN CONFLICT WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- THE CONTRACTOR SHALL ASSEMBLE IN A BINDER AND PASS ALONG TO THE OWNER ALL EQUIPMENT AND MATERIAL WARRANTIES THAT MAY EXTEND BEYOND THE BASE GUARANTEE PERIOD, AS WELL AS INSTALLATION AND MAINTENANCE INSTRUCTIONS IF APPLICABLE.
- NO SUBSTITUTIONS FOR MATERIALS SPECIFIED HEREIN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY ARCHITECT.
- ARCHITECT AND ASSOCIATED CONSULTANTS DISCLAIMS ANY ACTUAL OR CONSEQUENTIAL DAMAGES ARISING FROM THIRD PARTY RELATIONSHIPS. THESE DRAWINGS DO NOT PROVIDE ALL OR ANY SPECIFIC DETAIL IN AREAS INCLUDING BUT NOT LIMITED TO NAILING, GLUING, CAULKING, FLASHING, PAINTING AND WATERPROOFING, OR CRAFTSMANSHIP. G.C. IS RESPONSIBLE TO PROVIDE PROPER SUPERVISED WORKMANSHIP.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR "REINSTATING" THE SITE TO ORIGINAL CONDITIONS. STRIPPED TOPSOIL SHALL BE RE-SPREAD TO FINISH GRADE ELEVATION AND SEEDED.

ABBREVIATIONS

AC AIR CONDITIONING	L LENGTH
ACU AIR CONDITIONING UNIT	LAM LAMINATE
AFF ABOVE FINISHED FLOOR	LAV LAVATORY
AHU AIR HANDLING UNIT	LBL LABEL
ALUM ALUMINUM	LBS POUNDS
ANOD ANODIZED	LH LEFT HAND
AT ACOUSTICAL TILE	LN FT LINEAR FEET
BD BOARD	LT LIGHT
BLDG BUILDING	LTG LIGHTING
BO BY OTHERS	MAS MASONRY
CAB CABINET	MAX MAXIMUM
CD CEILING DIFFUSER	MECH MECHANICAL
CFM CUBIC FEET PER MINUTE	MFR MANUFACTURE(R)
< CENTER LINE	MIN MINIMUM
CLG CEILING	MISC MISCELLANEOUS
CLL CONTRACT LIMIT LINE	MM MILLIMETER
CMU CONCRETE MASONRY UNIT	MO MASONRY OPENING
COL COLUMN	MTD MOUNTED
CONC CONCRETE	MTL METAL
CONST CONSTRUCTION	MULL MULLION
CONT CONTINUOUS	MW MILLWORK
CPT CARPET(ED)	NA NOT APPLICABLE
CS COUNTER SINK	NIC NOT IN CONTRACT
CT CERAMIC TILE	NO NUMBER
CTR COUNTER	NOM NOMINAL
CU FT CUBIC FEET	NTS NOT TO SCALE
CU IN CUBIC INCHES	OC ON CENTER
CW COLD WATER (CITY)	OD OUTSIDE DIAMETER
D DEPTH	OPNG OPENING
DEMO DEMOLITION	OPP OPPOSITE
DET DETAIL	PART PARTITION
DF DRINKING FOUNTAIN	PL PLATE
DHW DOMESTIC HOT WATER	PL LAM PLASTIC LAMINATE
DIAG DIAGONAL	PLB'G PLUMBING
DIAM DIAMETER	PLYWD PLYWOOD
DIM DIMENSION	PNL PANEL
DN DOWN	PNT PAINT
DR DOOR	PT POINT
DS DOOR STOP	QT QUARRY TILE
DW DISH WASHER	R RISE(R)
DWG DRAWING	RA RETURN AIR
DWR DRAWER	RAD RADIUS
EA EACH	RD ROOF DRAIN
EF EXHAUST FAN	REF REFERENCE
EH ELECTRIC HEATER	REINF REINFORCE
EL/ELEV. ELEVATION	REM REMOVE
ELEC ELECTRIC	REQD REQUIRED
EMER EMERGENCY	REV REVISION
ENG ENGINEER	RH RIGHT HAND
EP ELECTRIC PANEL	RM ROOM
EQ EQUAL	RO ROUGH OPENING
EQUIP EQUIPMENT	RPM REVOLUTIONS PER MINUTE
EXISTG EXISTING	SA SUPPLY AIR
EXP EXPANSION	SC SOLID CORE
EXT EXTERIOR	SHT SHEET
FACT FIN FACTORY FINISH	SM SIMILAR
FBO FURNISHED BY OTHERS	SP SPEAKER
FE FIRE EXTINGUISHER	SPEC(S) SPECIFICATION(S)
FEC FIRE EXTINGUISHER CABINET	SQ SQUARE
FFE FINISH FLOOR ELEVATION	SQ FT SQUARE FOOT (FEET)
FIN FINISHED	SO IN SQUARE INCH
FL FLUORESCENT	SS STAINLESS STEEL
FOF FACE OF FINISH	ST STREET
FP FIRE PROOFING	STL STEEL
FPSC FIRE PROOF SOLID CORE	STD STANDARD
FR FIRE RESISTANT	SUSP SUSPENDED
FS FULL SCALE	SYM SYMMETRICAL
FT FEET	SYS SYSTEM
FTR FINNED TUBE RADIATION	T & G TONGUE & GROOVE
GA GAUGE	TEL TELEPHONE
GC GENERAL CONTRACTOR	TEMP TEMPERATURE
GL GLASS	THEM THERMOSTAT
GWB GYPSUM WALLBOARD	THK THICKNESS
HC HOLLOW CORE	THRU THROUGH
HD HEAVY DUTY	TOS TOP OF SLAB
HDW HARDWARE	TR TREAD
HDWD HARDWOOD	TST TOP OF STEEL
HM HOLLOW METAL	TV TELEVISION
HOR HORIZONTAL	TYP TYPICAL
HR HOUR	UON UNLESS OTHERWISE NOTED
HT HEIGHT	V VOLTS
HTG HEATING	VAC VACUUM
HVAC HEATING, VENT, AIR COND.	VCT VINYL COMPOSITE TILE
HWH HOT WATER HEATER	VERT VERTICAL
ID INSIDE DIAMETER	VIF VERIFY IN FIELD
IN INCH	W WIDTH
INCL INCLUDE(ING)	W/O WITHOUT
INFO INFORMATION	WB WOOD BASE
INSUL INSULATION	WC WATER CLOSET
INTR INTERIOR	WO WOOD
INV INVERT	WP WATERPROOF
IRC INTERNATIONAL RESIDENTIAL CODE	WPT WORKING POINT
J-BOX JUNCTION BOX	WR WATER RESISTANT
JT JOINT	WT WEIGHT
KO KNOCK OUT	YD YARD
KPL KICKPLATE	

DRAWING INDEX

ARCHITECTURAL DRAWINGS	STRUCTURAL DRAWINGS
CS COVER SHEET	S-1 STRUCTURAL NOTES
T-1 TITLE SHEET: GENERAL NOTES, DRAWING LIST, APPLICABLE CODES, SITE MAP, SYMBOL LEGEND, ETC.	S-2 STRUCTURAL PLANS
Ex-1 FLOOR PLANS	S-3 STRUCTURAL PLANS
Ex-2 EXTERIOR ELEVATIONS	
Ex-3 BUILDING SECTIONS	
	M.E.P. DRAWINGS
A-1 FOUNDATION, FIRST FLOOR PLANS, WINDOW AND DOOR SCHEDULES	M-1 MECHANICAL PLANS
A-2 SECOND AND ROOF PLANS	M-2 MECHANICAL PLANS
A-3 ELEVATIONS	P-1 PLUMBING PLANS
A-4 BUILDING SECTION	P-2 PLUMBING PLANS
A-5 SECTION DETAILS	E-1 ELECTRICAL PLANS
	E-2 ELECTRICAL PLANS
	SP-1 MEP SPECIFICATIONS
	CIVIL DRAWINGS
	V-1 SITE - EXISTING CONDITIONS
	C-1 SITE DEMOLITION PLAN
	C-2 SITE PLAN AND DETAILS

LOCATION MAP



LEGEND

	GRAVEL
	CONCRETE
	MORTAR, GROUT
	STEEL
	FRAMING LUMBER
	HARDWOOD
	PLYWOOD
	BATT INSULATION
	GYPSUM WALLBOARD
	KEY NOTE
	DETAIL DRAWING NO.
	BUILDING SECTION
	WALL SECTION
	SECTION DETAIL
	COLUMN GRID
	PLAN / WALL DETAIL
	INTERIOR ELEVATION DRAWING NO.
	DATUM POINT (ELEVATION)
	DOOR NUMBER
	WINDOW NUMBER
	PARTITION TYPE
	REVISION FLAG
	REFERENCE KEY
	REMOVAL NOTE
	ROOM NUMBER
	EQUIPMENT TYPE
	CABINET TYPE
	C.O.D. CARBON MONOXIDE DETECTOR
	S.D. SMOKE DETECTOR (HARD WIRE)
	H.D. HEAT DETECTOR (HARD WIRE)
	CEILING FAN/LIGHT

BUILDING DESIGN DATA

GROUP R-3 FOR SINGLE FAMILY (3) STORY DWELLING
 CONSTRUCTION TYPE: II
 PROPOSED BUILDING MEAN HEIGHT 33'-6" +/-
 WIND SPEED 100 MPH [PER IRC 2009 AND 2013 CT AMENDMENTS(AMD)]
 WIND IMPORTANCE FACTOR - (I_w)=1.49 - PER TABLE R301.2(3)
 WIND EXPOSURE "C"

FLOOD ZONE - AE 13:
 REQUIRED: DFE = 13.00' x 1.25 (500-YEAR FLOOD ELEV. ADJUSTMENT) = 16.25' + 1'-0" (FREEBOARD) = 17.25' TOTAL
 PROPOSED: DFE = 17.25' (TOP OF FOUNDATION)

DESIGNED FOR 500-YEAR FLOOD BASED ON SHPO & NFIP REGULATORY REQUIREMENTS:
 FLOOD PLAIN MANAGEMENT REGULATIONS BY LOCAL JURISDICTION AND PER
 LATEST FIRM FLOOD MAPS & CONSENSUS STANDARDS

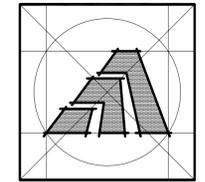
APPLICABLE CODES

<p>APPLICABLE CODES: 2009 INTERNATIONAL RESIDENTIAL CODE AND CT 2013 AMENDMENTS.</p> <p>PER SECTION R301.2 DESIGN CRITERIA - R301.1 APPLICATION / MEETS REQUIREMENTS R301.2 - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA / MEETS REQUIREMENTS R301.2.1 (AMD) - WIND LIMITATIONS / MEETS REQUIREMENTS TABLE R301.2.1(1) (AMD) - CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA: (AMD) - WIND SPEED (MPH) - 100 MPH PER APPENDIX R / MEETS REQUIREMENTS (AMD) - SEISMIC DESIGN CATEGORY - CATEGORY B (AMD) - FLOOD HAZARD - AE (AMD) - SUBJECT TO DAMAGE - FROST LINE DEPTH - 42 INCHES / PROVIDED (EXCEEDED) R301.2(2) - COMPONENT AND CLADDING LOADS: Roof Zone 1,2 & 3 - W/ 100 MPH - WIND = 24.59 / -31.29 PRESSURE MAX. (50 D.P. PROVIDED) Wall Zone 4 - W/ 100 MPH - WIND = +26.82 / -29.05 PRESSURE MAX. (50 D.P. PROVIDED) Wall Zone 5 - W/ 100 MPH - WIND = 26.82 / -35.9 PRESSURE MAX. (50 D.P. PROVIDED) R301.2(3) - HEIGHT AND EXPOSURE COEFFICIENTS FOR TABLE R301.2(2): 1.49 ADJUSTMENT PROVIDED R301.2.1.4 (AMD) - EXPOSURE CATEGORY / EXPOSURE C R301.4 - DEAD LOADS & R301.5 - LIVE LOADS - ATTIC FLOOR: 10 PSF DL / 20 PSF SL / PROVIDED THIRD / BEDROOM FLOOR: 10 PSF DL / 30 PSF LL / PROVIDED SECOND / MAIN FLOOR: 10 PSF DL / 40 PSF LL / PROVIDED DECK FLOOR: 10 PSF DL / 40 PSF LL / PROVIDED R301.6 (AMD) - ROOF LOAD - MEETS REQUIREMENTS R301.7 - ALLOWABLE DEFLECTION / MEETS REQUIREMENTS</p> <p>PER SECTION R302 - FIRE-RESISTANT CONSTRUCTION: R302.1 (AMD) - EXTERIOR WALLS - MINIMUM FIRE SEPERATION / EXCEEDS 5'-0" SEPERATION / NO RATING REQUIRED</p> <p>PER SECTION R303 - LIGHT, VENTILATION AND HEATING / MEETS REQUIREMENTS PER SECTION R304 - MINIMUM ROOM AREAS / MEETS REQUIREMENTS PER SECTION R305 - CEILING HEIGHTS / MEETS MIN. REQUIREMENTS PER SECTION R306 - SANITATION / MEETS REQUIREMENTS (BACKFLOW VALVE PROVIDED) PER SECTION R307 - TOILET, BATH AND SHOWER SPACES / MEETS REQUIREMENTS PER SECTION R308 - GLAZING - R308.4 - HAZARDOUS LOCATIONS / TEMPERED WINDOWS PROVIDED</p> <p>PER SECTION R310 - EMERGENCY ESCAPE AND RESCUE OPENINGS - R310.1 - EMERGENCY ESCAPE AND RESCUE REQUIRED / PROVIDED R310.1.1 - MINIMUM OPENING AREA / PROVIDED IN EACH BEDROOM 5.7 SF REQ'D / PROVIDED</p>	<p>PER SECTION R311 - MEANS OF EGRESS - R311.1 - MEANS OF EGRESS / PROVIDED R311.2 - EGRESS DOOR / (4) PROVIDED R311.3.1 - FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOOR / PROVIDED</p> <p>PER SECTION R312 - GUARDS - R312.1 - WHERE REQUIRED / PROVIDED R312.2 - HEIGHT / MEETS REQUIREMENTS R312.3 - OPENING LIMITATIONS / MEETS REQUIREMENTS</p> <p>PER SECTION R313 - AUTOMATIC FIRE SPRINKLER SYSTEM - R313.2 (AMD) - ONE AND TWO FAMIL DWELLINGS AUTOMATIC FIRE SPRINKLER SYSTEM (NOT REQUIRED/NOT PROVIDED) PER CT AMENDMENTS</p> <p>PER SECTION R314 - SMOKE ALARM: R314 - SMOKE ALARMS (PROVIDED) R314.4 (AMD) - POWER SOURCE (MEETS REQUIREMENTS)</p> <p>PER SECTION R315 - CARBON MONOXIDE ALARM: R315.1 (AMD) - CARBON MONOXIDE ALARMS (PROVIDED)</p> <p>PER SECTION R316 - FOAM PLASTIC: R316.4 - THERMAL BARRIER / N/A</p> <p>PER SECTION R317 - PROTECTION OF WOOD AND WOOD BASED PRODUCTS AGAINST DECAY: R317.1 - LOCATION REQUIRED (MEETS REQUIREMENTS)</p> <p>PER SECTION R318 - PROTECTION AGAINST SUBTERRANEAN TERMITES: R318.1 - SUBTERRANEAN TERMITE CONTROL METHODS (METHOD #3 PROVIDED)</p> <p>PER SECTION R319 - SITE ADDRESS: R319.1 - ADDRESS NUMBERS (MEETS REQUIREMENTS)</p> <p>PER SECTION R320 - ACCESSIBILITY: R320.1 - SCOPE (NOT REQUIRED / NOT PROVIDED)</p> <p>PER SECTION R321 - ELEVATORS AND PLATFORM LIFTS: (NOT REQUIRED / NOT PROVIDED)</p> <p>PER SECTION R322 - FLOOD-RESISTANT CONSTRUCTION: R322.1 - GENERAL (COMPLIES) R322.1.2 - STRUCTURAL SYSTEM (PROVIDED) R322.1.3 - FLOOD-RESISTANT CONSTRUCTION (MEETS REQUIREMENTS) R322.1.4 - ESTABLISHING THE DESIGN FLOOD ELEVATION R322.1.4.1 - DETERMINATION OF THE DESIGN FLOOD ELEVATION (500-YEAR FLOOD PROVIDED - EXCEEDS JURISDICTION) R322.1.5 - LOWEST FLOOR (EXCEEDS MIN. REQUIREMENTS) R322.1.6 - PROTECTION OF MECHANICAL AND ELECTRICAL (PROVIDED) R322.1.7 - PROTECTION OF WATER SUPPLY AND SANITARY SEWAGE SYSTEMS (PROVIDED) R322.1.8 - FLOOD RESISTANT MATERIALS (PROVIDED) R322.1.10 - AS-BUILT ELEVATION DOCUMENTATION (PROVIDED) R322.2.1 - ELEVATION REQUIREMENTS (PROVIDED) R322.2.2 - ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION (N/A) R322.2.3 - FOUNDATION DESIGN AND CONSTRUCTION (MEETS REQUIREMENTS)</p>
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PROJECT DATA

OWNER: SUZANNA DAGGS
 189 HILLSIDE AVENUE
 MILFORD, CONNECTICUT 06460

SITE LOCATION: 189 HILLSIDE AVENUE
 MILFORD, CONNECTICUT 06460



Amaya Architects
 American Institute of Architects

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 ORANGE, CT 06477 FAX (203) 799 3871

Sheet Title:

TITLE SHEET

APPLICATION # 1020

DAGGS RESIDENCE
 189 HILLSIDE AVE.
 Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORR)

Date: 04/15/2016

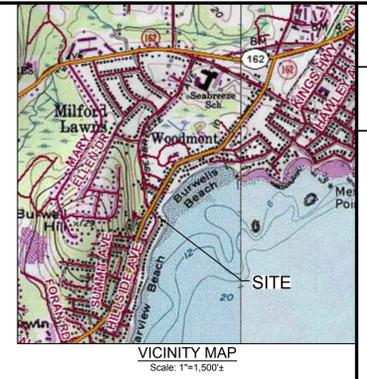
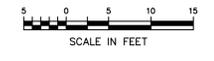
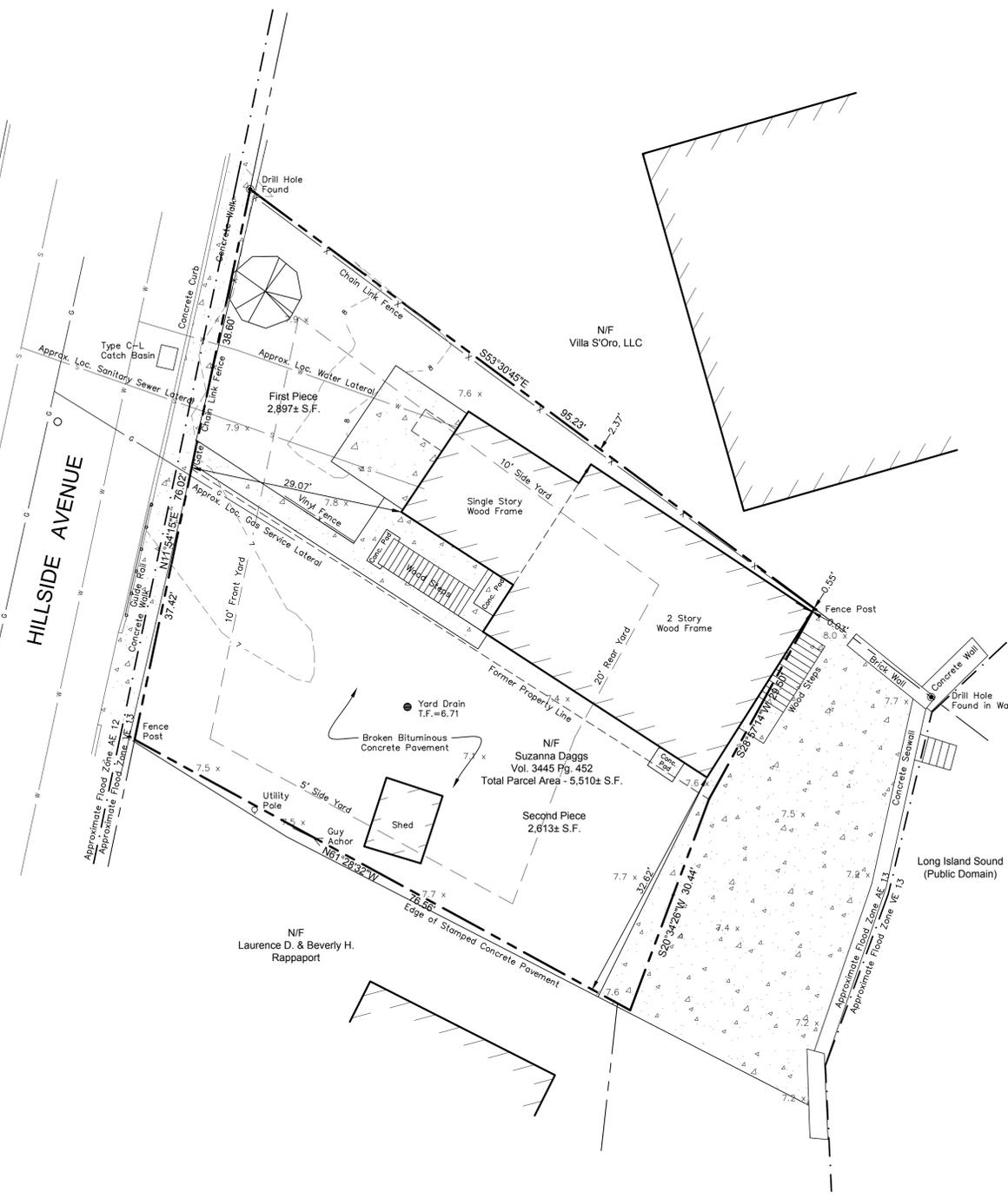
Project Number: 1020
 Drawn By: J.V.L.

Sheet Number:

T1



San. MH
T.F. = 7.23



- NOTES:
- This map and survey have been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and "The Minimum Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors on September 26, 1996.
 - The type of survey performed and the mapped features depicted hereon are in accordance with the requirements of a Property/Boundary and Topographic Survey.
 - The boundary determination / opinion is based upon a Resurvey of map reference 6A.
 - This map conforms to Class A-2 horizontal accuracy, Class T-2 Topographic accuracy and V-2 Vertical accuracy.
 - The north arrow and bearings are based upon assumed datum.
 - The elevation are referenced to North American Vertical Datum 1988 (NAVD88) utilizing the Town of Milford Benchmark BM 88-27 with a published elevation 11.38.
 - Map References:
 - A. "Northern Portion of Lot #1 on Map of Est. of Wm. Merwin - May 22, 1906 by A.B. Hill, C.E., Michael & Mary E. Landino, Woodmont-Milford, Conn., scale: 1"=20' dated April 23, 1964 prepared by Stein & Giordano, Associates.
 - B. "Map of Property owned by Est. of William Merwin, Merwin's Point, Milford, Conn.," scale: 1"=20' dated Feb. 6, 1906 prepared by A.B. Hill.; map on file in the Milford Land Records as map E316.
 - C. "Survey of Property in Milford, Connecticut prepared for Vill D'Oro, LLC in connection with the Establishment of a Condominium known as 'Villa D'Ora Condominium'," scale: 1"=10' dated July 13, 2000 prepared by Connecticut Civil Group; map on file in the Milford Land Records as map AB2628.
 - D. "Boundary Survey for Villa D'Oro LLC, property located at #1 Merwin Avenue, Milford, Connecticut," scale: 1"=10' dated 6/23/1999 prepared by Codspot & Associates, P.C.; map on file in the Milford Land Records as map AB2507.
 - E. "Plot Plan for Laurence D. & Beverly H. Rappaport, 177-181 Hillside Avenue being Lot #2 on 'Map of Merwin Point' -dated Feb. 6, 1906 in Milford, Connecticut," scale: 1"=10' dated December 10, 2012, revised March 18, 2013 prepared by Gioacchino de Nicolo.
 - F. "Map of Building Lots, Debonair Beach - Woodmont, for sale by W.L. & S.T. Merwin," scale: 1"=40' dated March 5, 1902 prepared by A.B. Hill; map on file in the Milford Land Records as map D273.
 - G. "Property/Boundary Survey, 187-189 Hillside Avenue, Milford, Connecticut, Lot Consolidation Plan, Land of Susanna Daggs," scale: 1"=10' dated 1/21/2015 prepared by Loureiro Engineering Associates, Inc.; map on file in the Town of Milford Land Records.
 - Parcel is located in Flood Zone AE (base flood elevation determined to be 13) as depicted on "FIRM, Flood Rate Insurance Map, New Haven County, Connecticut, (all jurisdictions), Panel 532 of 635, Milford, City of," Map Number 09003C0532, map revised July 6, 2013.
 - Parcel is depicted on the City of Milford Tax Assessor's Map 59, Block 795 as Lot 69.
 - Parcel is zoned R-5 and is subject to the following zoning requirements:

Minimum Lot Size	5,000 Square Feet
Minimum Frontage	50 Feet
Minimum Depth	70 Feet
Front Yard	10 Feet or Actual which ever is greatest
Side Yard	10 Feet one side, 5 Feet the other side
Rear Yard	20'
Maximum Height	3 Stories
 - The underground utilities depicted hereon have been compiled from observable evidence, such as manholes, catch basins and water gates. These location must be considered as approximate in nature. Additionally, other such features may exist on the sites, the existence of which is unknown to Loureiro Engineering Associates, Inc. (Loureiro). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.
 - Mean high water is located off the property on the seaward side of the seawall.

LEGEND

●	Property Corner
—	Property Line
- - -	Setback Line
g	Existing Gas Line
w	Existing Watermain
s	Existing Sanitary Sewer

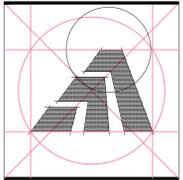
To my knowledge and belief the foregoing is substantially correct as noted hereon.

Edward G. Shelomis, L.S. #9266

PROPERTY/BOUNDARY & TOPOGRAPHIC SURVEY 189 HILLSIDE AVENUE, MILFORD, CONNECTICUT		SCALE: 1" = 10' DRAWN BY: 01MH4.17 DATE: 1/12/2015	
EXISTING CONDITIONS LAND OF SUZANNA DAGGS		APPROVED BY: E.G.S. DATE: 1/12/2015	
Loureiro Engineering Associates, Inc. 100 Northwest Drive • Plainville, Connecticut 06062 Phone: 860-747-6181 • Fax: 860-747-5822 An Employee Owned Company • www.Loureiro.com		E.G.S. DATE	
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C:\WORK\PROJECTS\CONTRACT\DATA_MLF\EXISTING TOPO CONDITIONS.DWG, 01/12/2015 12:02:15 PM, PLOT FILE: 20150112_189HILLSIDE.DWG



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Comm No. 01MH4.02

Sheet Title:
DEMOLITION PLAN

DAGGS RESIDENCE

189 Hillside Avenue
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

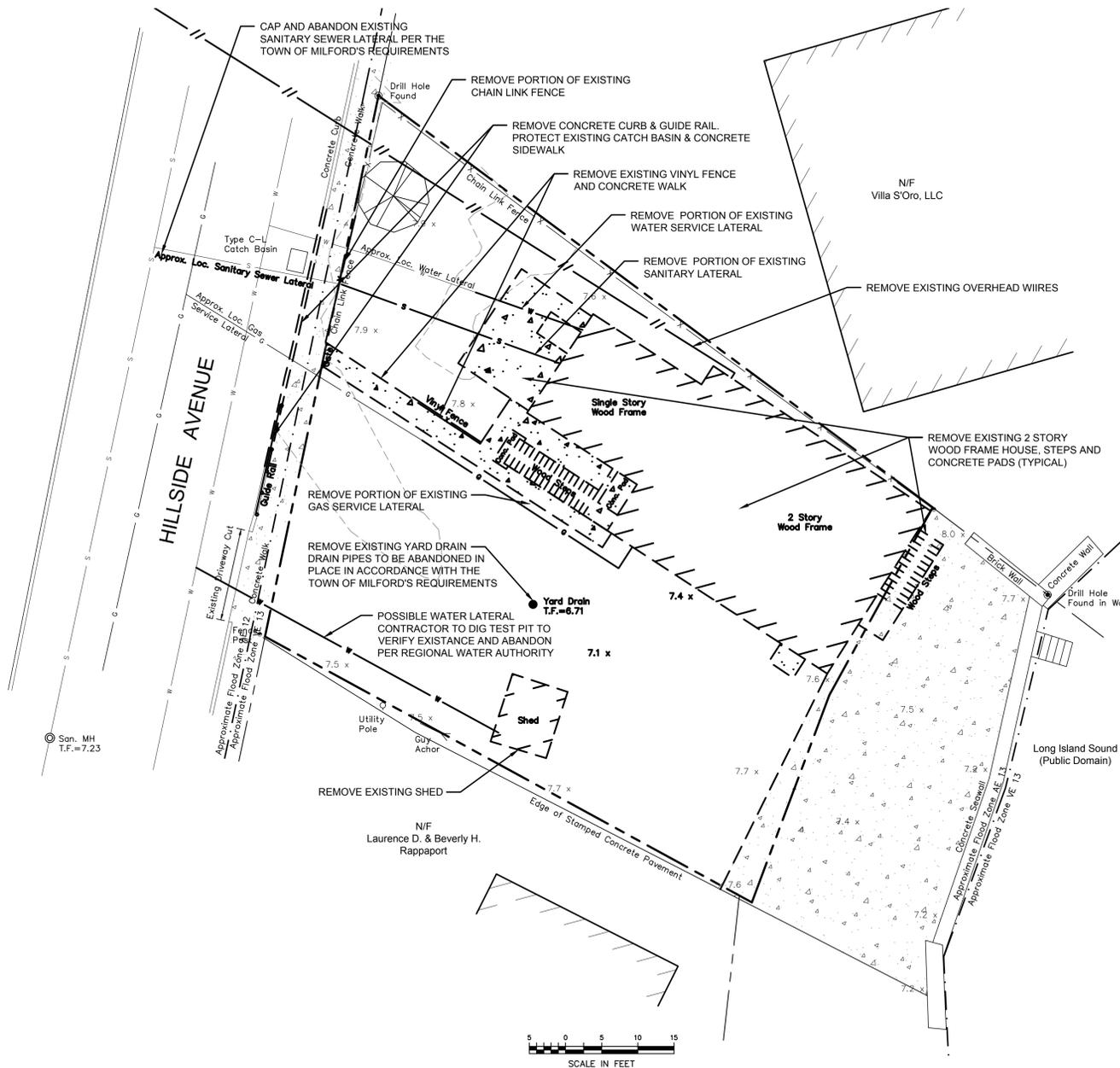
Date:
ISSUED FOR BIDDING 6-1-15
Town Comments 12-4-15

Job Number: 000
Drawn By: P.A.C.
Approved By: E.G.S.

Sheet Number:
C-1

DEMOLITION NOTES:

- Prior to initiation of any demolition, all erosion control barriers shall be placed as shown on the Erosion Control drawing and where required by the owner's representative. The erosion control barriers shall be left in place and maintained until the work is completed and the surfaces have been temporarily stabilized.
- If additional erosion control structures are necessary to minimize erosion and sediment as determined in the field, the Contractor shall install structures as required.
- Contractor shall be responsible for permits and all utility disconnects (sanitary, storm, water, gas, electric, telephone, CATV, etc.) in accordance with the appropriate utility company requirements prior to starting demolition.
- Sanitary laterals should be cut back as close as possible to main with in project limits and in accordance with the Town of Milford's requirements.
- All debris from the demolition and any required environmental mitigation such as asbestos abatement or other hazardous building material shall be immediately removed from the site at the contractor's expense. All materials shall be disposed of off site at an approved facility.
- The concrete building foundations shall be removed completely.
- Bituminous concrete driveway to be maintained through demolition to avert need for anti-tracking pad.
- The underground utilities depicted hereon have been compiled from observable evidence, such as manholes, catch basins and water gates. These locations must be considered as approximate in nature. Additionally, other such features may exist on the sites, the existence of which is unknown to Loureiro Engineering Associates, Inc. (LEA). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.
- Prior to issuance of a Building Permit, details of the apron, sidewalk and residential inspection riser shall be presented to City of Milford Planning and Zoning for approval.
- Permits from the City of Milford Engineering department required for driveway apron, sidewalk, and for sanitary work prior to construction.
- Placement of dumpster or other refuse container for construction debris shall be placed on the site and not in the City right of way.



LEGEND

●	Property Corner
○	Rebar Found
---	Property Line
- - - -	Setback Line
—x—	Chain Link Fence
—□—	Wooden Fence
—○—	Stonewall
—g—	Existing Gas Service
—w—	Existing Watermain
—s—	Existing Sanitary Sewer
—▲—	Proposed Erosion Control Barrier
—○—	Proposed Gas Service Lateral
—w—	Proposed Water Service Lateral
—s—	Proposed Sanitary Sewer
—■—	Proposed Bituminous Concrete Driveway
—▲—	Tidal Wetland Line per CGS Sections 22a-28 through 22a-35 (Elev. 3.9)

C:\AUTOCAD\PROJECTS\01MH417-189-189_HILLSIDE_DRIVE\01MH417-001_SITE_PLAN.DWG Tab: DEMO Sewer 2/17/2016 3:51 PM Plotter: 2/17/2016 3:53 PM

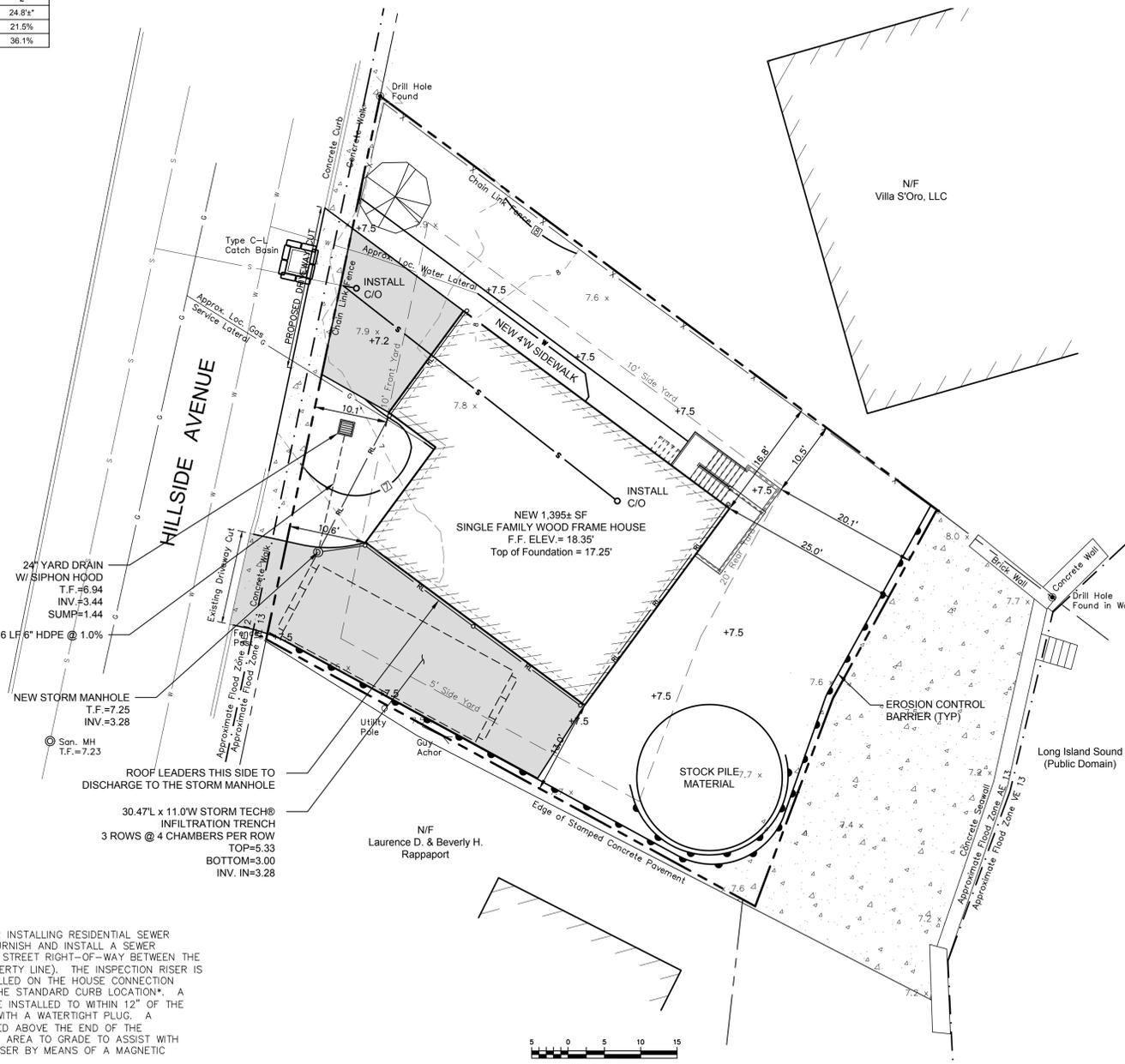
To my knowledge and belief this map is substantially correct as noted hereon.

Edward G. Shelton
Edward G. Shelton
REGISTERED PROFESSIONAL ENGINEER
#9266



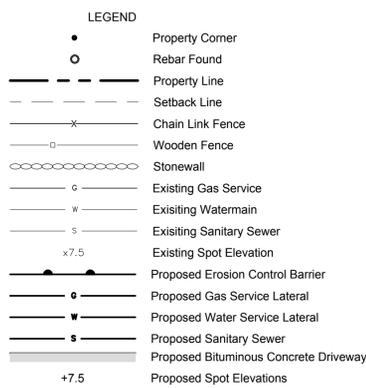
ZONING TABLE - R-5 ZONE			
	Required	Existing	Proposed
Min. Lot Area	5,000 S.F.	3,737± S.F.	No Change
Min. Setbacks			
Front Yard	10'	N/A	10.5'
Side Yard	5' & 10'	N/A	10.9'
Rear Yard	20'	N/A	10.4'
Max. Height (Stories)	3	N/A	2
Max. Height	35	N/A	24.9±*
Building Floor Area	45%	N/A	21.5%
Lot Coverage	65%	N/A	36.1%

* Mean Roof Height



GENERAL NOTES:

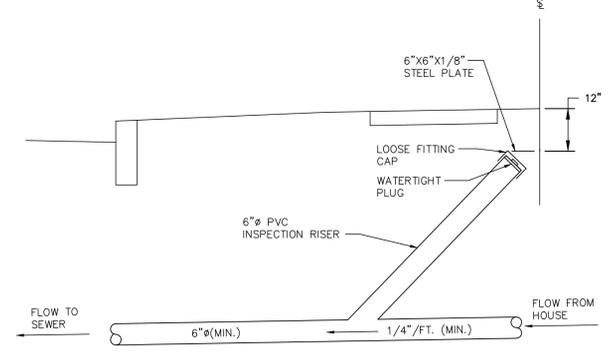
- Prior to demolition, all erosion control barriers shall be placed in accordance with the Town of Milford's requirements and shall be left in place and maintained until the work has been completed and surfaces stabilized.
- It shall be the responsibility of the contractor to monitor the condition of the erosion control structures. If the effectiveness or integrity of the structures is found to be insufficient or if the structures are damaged in any way, the contractor shall make whatever repairs are necessary to ensure that proper erosion control is maintained.
- If additional erosion and sedimentation control structures are necessary to minimize erosion and sedimentation as determined in the field, the contractor shall install structures as required at the contractor's expense.
- Removal existing overhead and re-attachment to be in accordance with United Illuminating Company specifications.
- Shut-off/disconnection of existing gas service and installation of new gas meter and service lateral per Southern Connecticut Gas Company Specifications.
- Disconnect existing sanitary sewer lateral. Protect end from debris and construction activities. Reconnect with new service lateral.
- No stockpile of any material will be permitted to the rear of the site.
- The underground utilities depicted hereon have been compile from observable evidence, such as manholes, catch basins and water gates. These location must be considered as approximate in nature. Additionally, other such features may exist on the sites, the existence of which is unknown to Loureiro Engineering Associates, Inc. (LEA). The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Be-For-You-Dig at 1-800-922-4455 or 811.
- Prior to issuance of a Building Permit, details of the apron, sidewalk and residential inspection riser shall be presented to City of Milford Planning and Zoning for approval.
- Permits from the City of Milford Engineering department required for driveway apron, sidewalk, and for sanitary work prior to construction.
- Contractor to preserve as much of the existing grass area in the front of the parcel as possible. All other disturbed areas shall be finished with 3/4" (minimum) crushed stone.



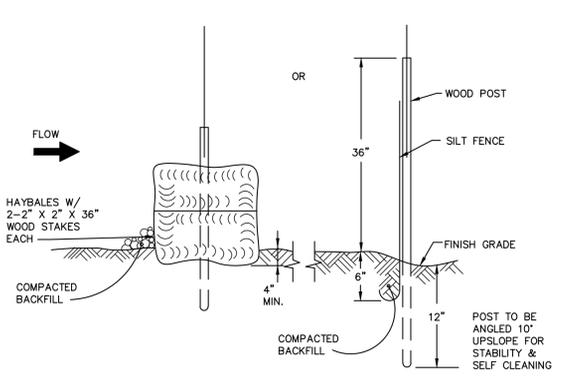
A CONDITION OF ALL SEWER PERMITS FOR INSTALLING RESIDENTIAL SEWER CONNECTIONS IS THE REQUIREMENT TO FURNISH AND INSTALL A SEWER INSPECTION RISER IN THAT AREA OF THE STREET RIGHT-OF-WAY BETWEEN THE CURB AND THE STREETLINE (FRONT PROPERTY LINE). THE INSPECTION RISER IS TO CONSIST OF A 45° WYE FITTING INSTALLED ON THE HOUSE CONNECTION SEWER APPROXIMATELY 4 FEET BEHIND THE STANDARD CURB LOCATION*. A 6"Ø PVC INSPECTION RISER PIPE IS TO BE INSTALLED TO WITHIN 12" OF THE FINISHED GROUND SURFACE AND FITTED WITH A WATERTIGHT PLUG. A 6"x6"x1/8" STEEL PLATE IS TO BE PLACED ABOVE THE END OF THE INSPECTION RISER WHEN BACKFILLING THE AREA TO GRADE TO ASSIST WITH FUTURE RECOVERY OF THE INSPECTION RISER BY MEANS OF A MAGNETIC DETECTOR.

*IN A SEWER EASEMENT THE INSPECTION RISER IS TO BE AT THE EDGE OF THE EASEMENT.

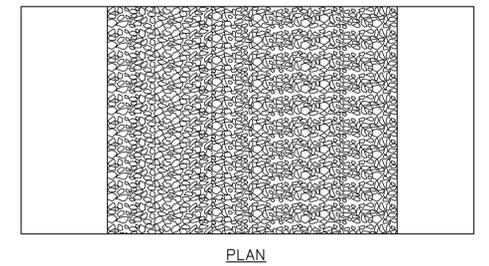
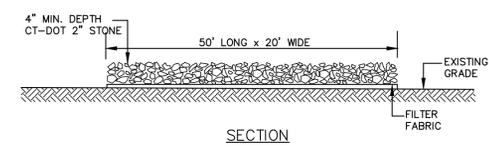
*IN LOCATIONS WHERE AN EXISTING LATERAL EXTENDS TO THE STREET LINE, THE "Y" CONNECTION SHALL BE PLACED AS CLOSE TO THE STREET LINE AS POSSIBLE, WITH THE INSPECTION RISER EXTENDING TO WITHIN 12" OF GRADE AND LOCATED ON PRIVATE PROPERTY.



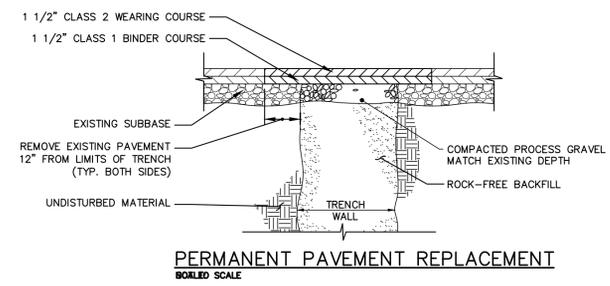
INSPECTION RISER DETAIL
N.T.S.



TYPICAL SEDIMENT BARRIER DETAIL
SCALE: NONE



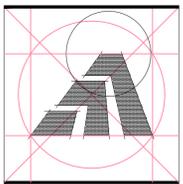
TYPICAL ANTI-TRACKING PAD DETAIL
SCALE: NONE



PERMANENT PAVEMENT REPLACEMENT
BOILED SCALE

To my knowledge and belief the information is substantially correct as noted hereon.

 Edward G. Sheltonis, P.E.
 #9266



Amaya Architects
American Institute of Architects

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ORANGE, CT 06477 FAX (203) 799 3871

SMEP Consultant:



Loureiro Engineering Associates, Inc.
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Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-8822
An Employee Owned Company
email : info@loureiro.com
Comm No. 01MH4.02

Sheet Title:
SITE PLAN & DETAILS

DAGGS RESIDENCE

189 Hillside Avenue
Milford, Connecticut 06460

**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)**

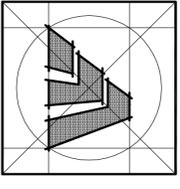
Date:
ISSUED FOR BIDDING 6-1-15
Town Comments 12-4-15

Job Number: 000
Drawn By: P.A.C.
Approved By: E.G.S.

Sheet Number:
C-2

© AUTOCAD PROJECTS/01MH417-001 SITE PLAN/DWG Tab: SITE Plan.dwg 2/17/2016 3:51 PM Plotfile: 2/17/2016 3:53 PM

INFORMATION SHOWN ON THIS DETAIL WAS PREPARED FOR USE BY THE CITY OF MILFORD. RESPONSIBILITY FOR THE USE OF THIS INFORMATION RESEMBLES THAT OF THE USER. THE CITY OF MILFORD, ITS EMPLOYEES, AGENTS, OR CONTRACTORS ARE NOT TO BE HELD RESPONSIBLE FOR ANY LIABILITY ARISING FROM ANY OCCURRENCE ASSOCIATED WITH THE USE OF THIS INFORMATION. ALTERATION OF THE STANDARD DETAIL IS STRICTLY UNAUTHORIZED WITHOUT APPROVAL OF THE CITY ENGINEER.



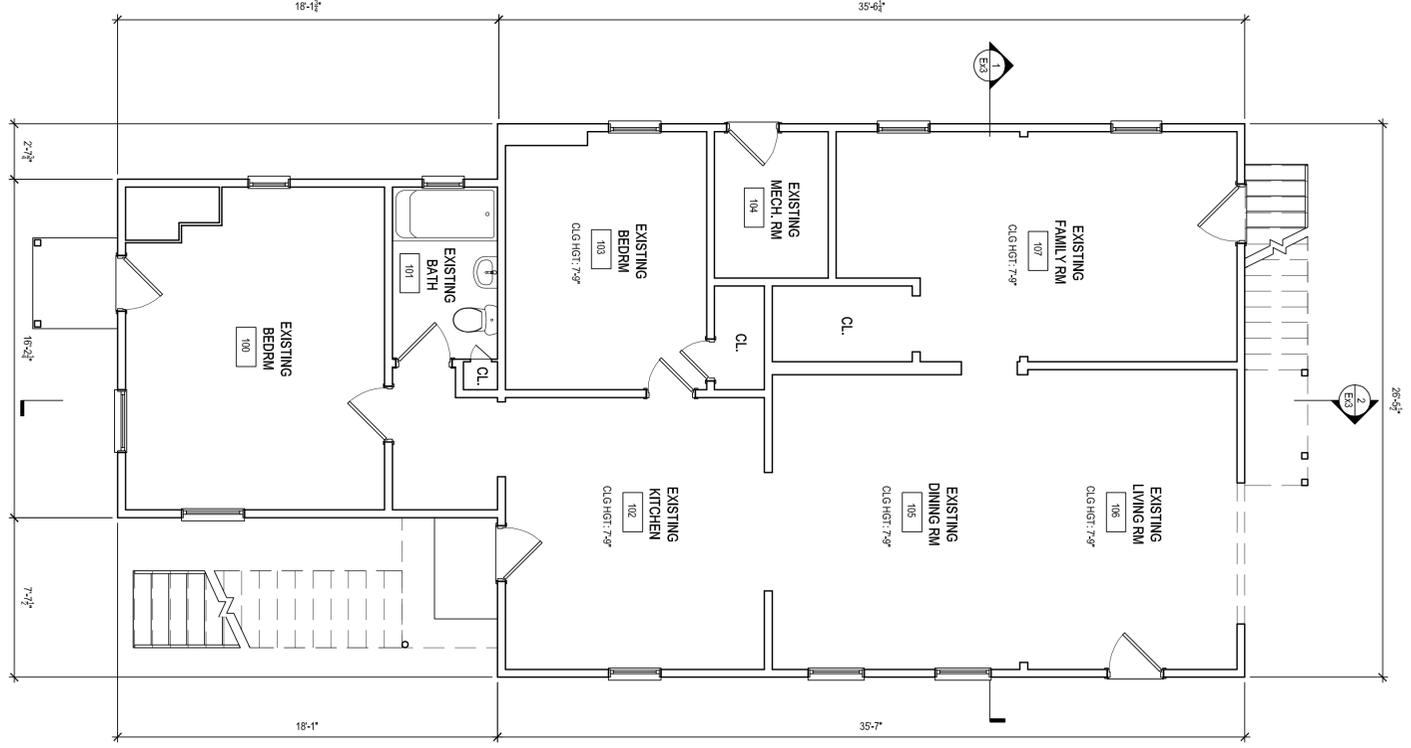
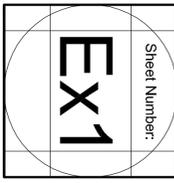
Amaya Architects
 American Institute of Architects
 294 BACGEROOK RD. TEL. (203) 795-5656
 ORANGE, CT 06477 FAX. (203) 795-3871

Sheet Title:
FLOOR PLANS

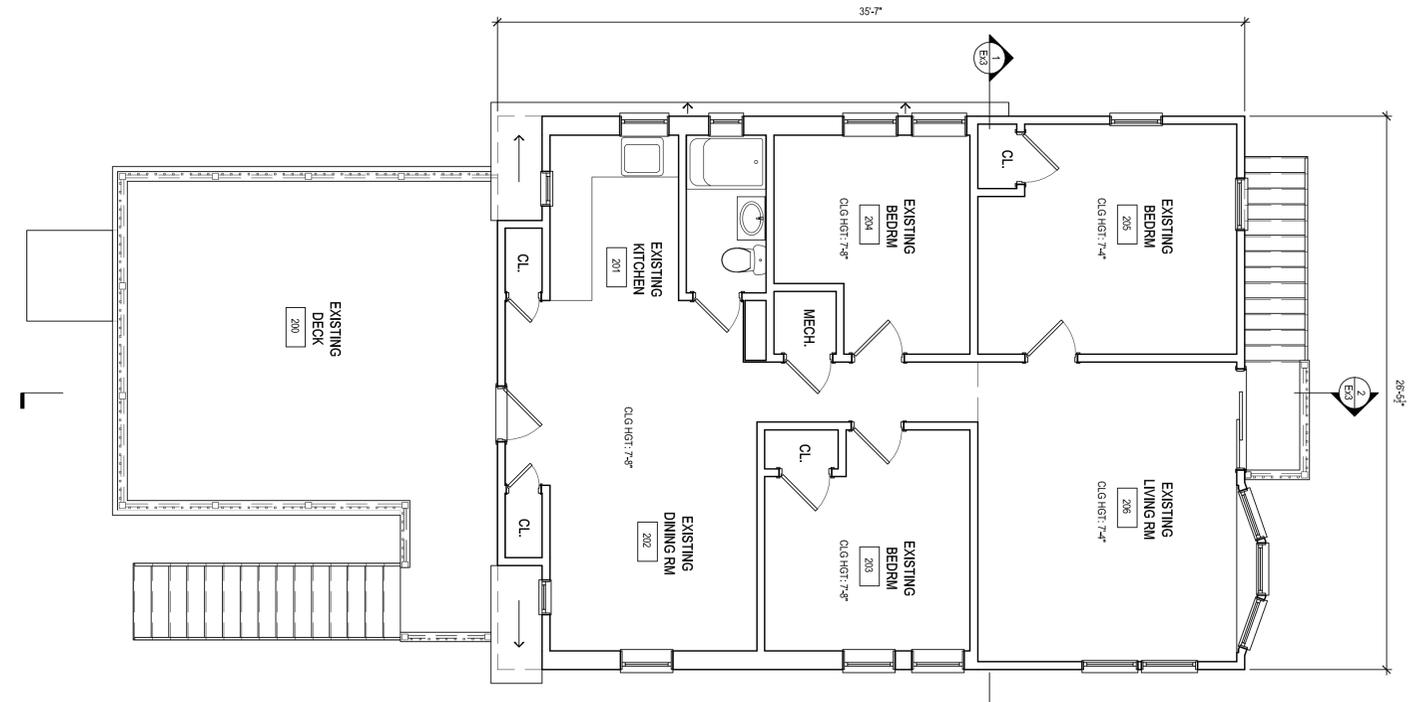
APPLICATION # 1020
DAGGS RESIDENCE
 187-189 Hillside Ave.
 Milford, Connecticut 06460

**STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING**
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORR)

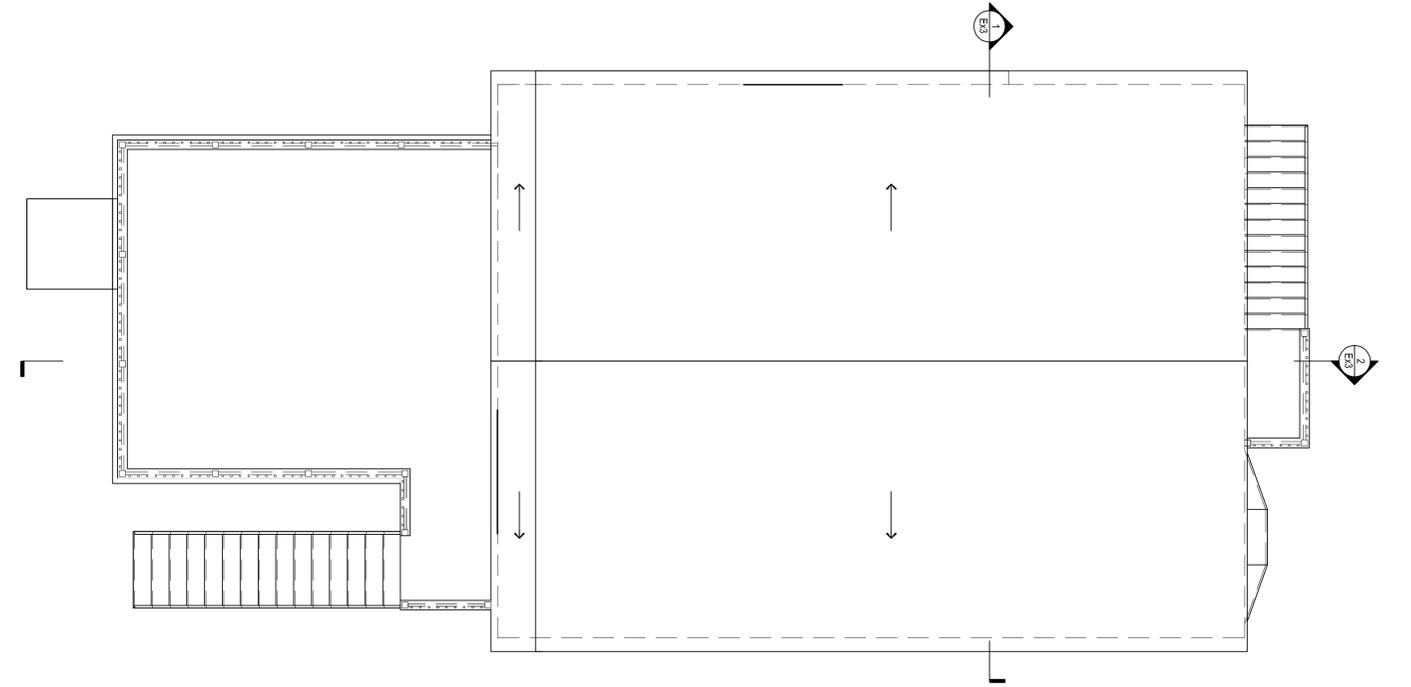
Date: 04/15/16
 Drawn By: R.C.S.
 Job Number:



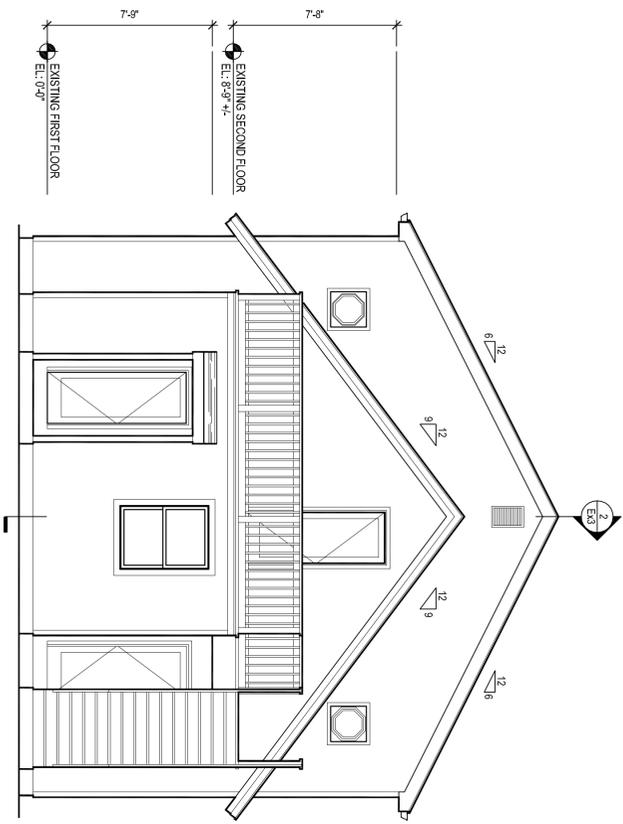
1 EXISTING FIRST FLOOR PLAN
 EX1 SCALE: 1/4" = 1'-0"



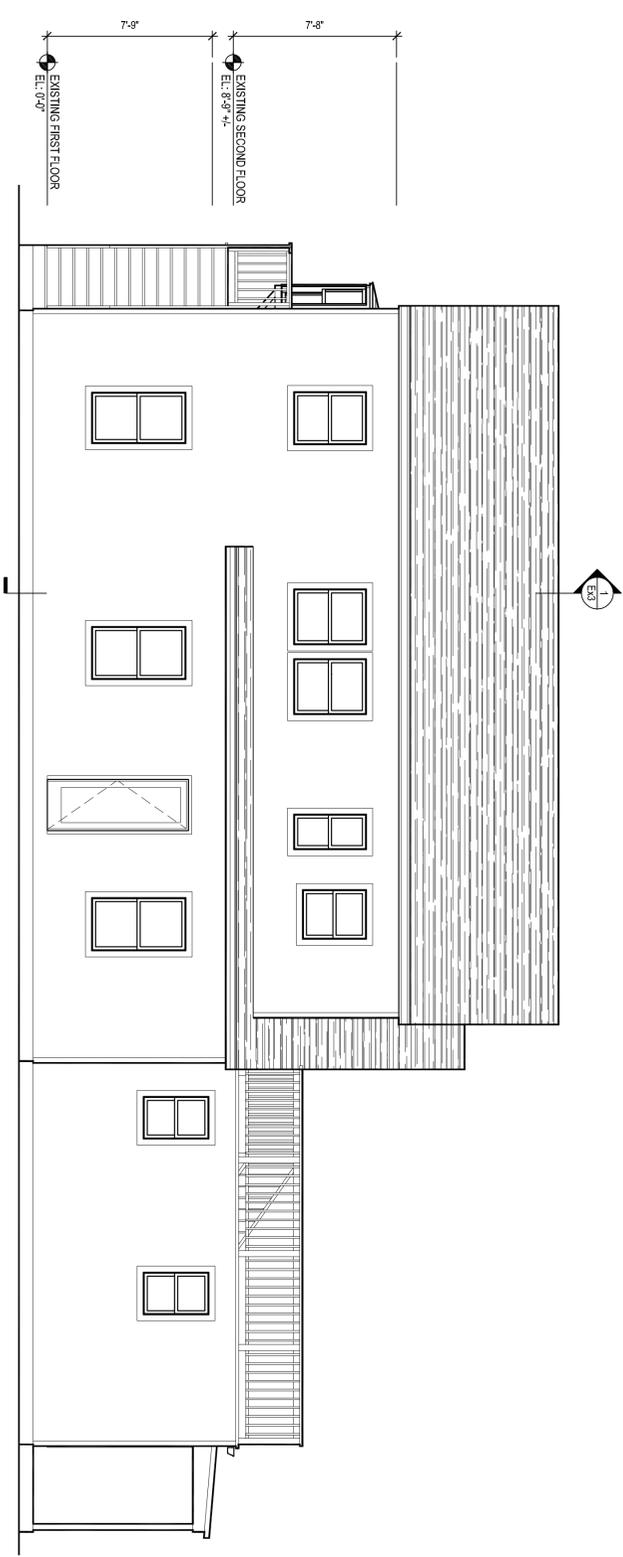
2 EXISTING SECOND FLOOR PLAN
 EX1 SCALE: 1/4" = 1'-0"



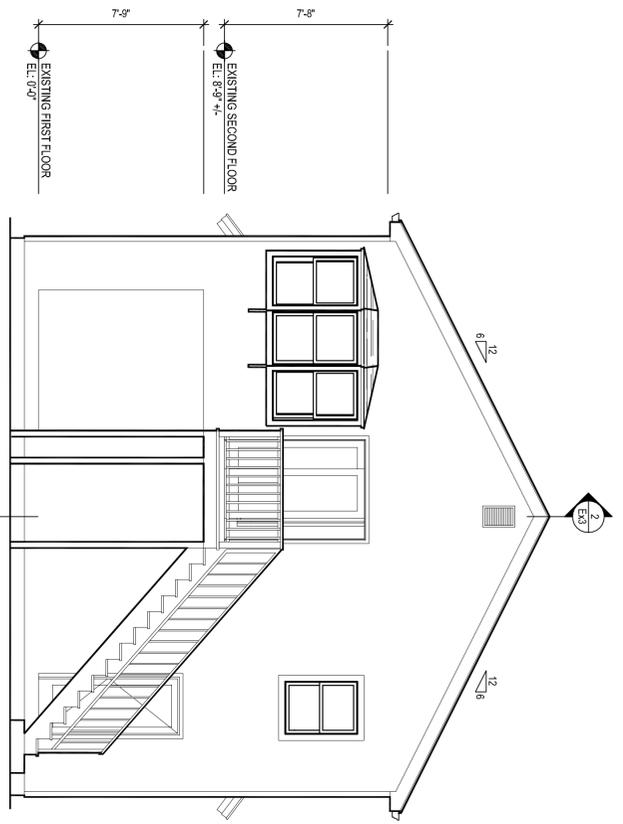
3 EXISTING ROOF PLAN
 EX1 SCALE: 1/4" = 1'-0"



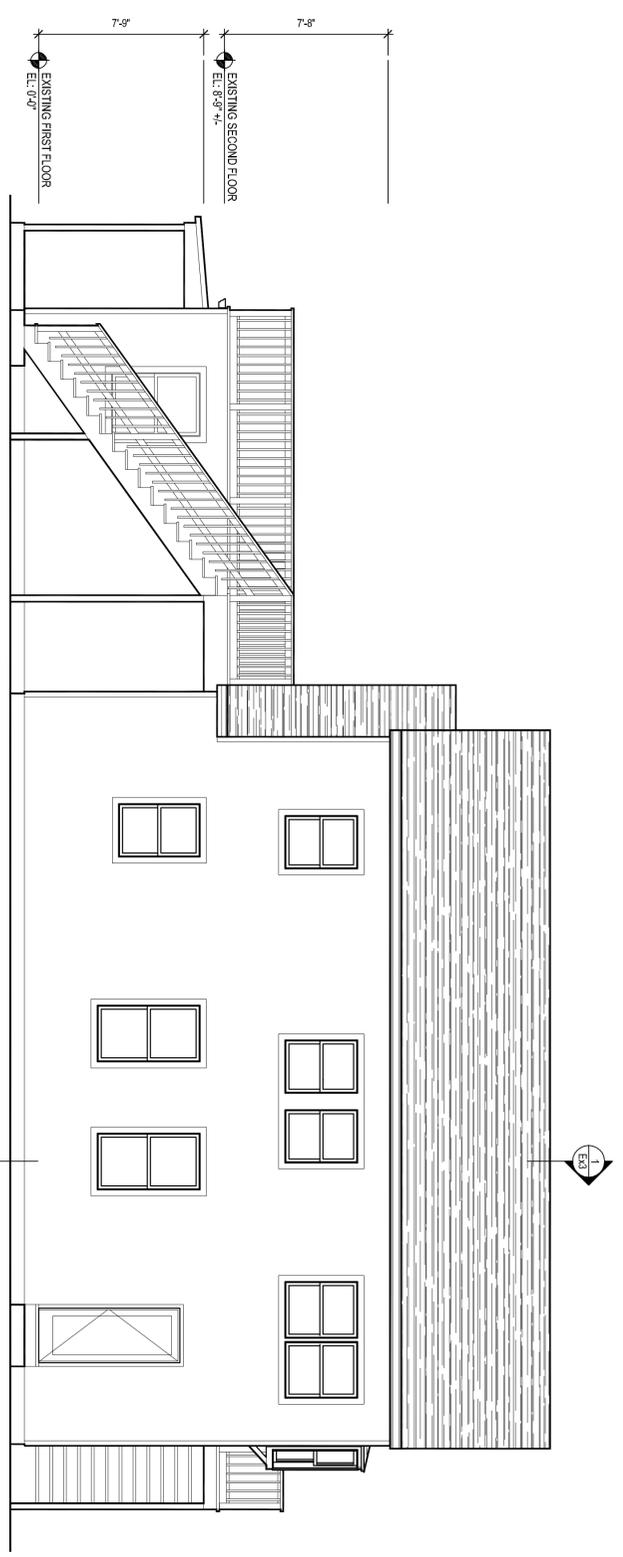
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EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



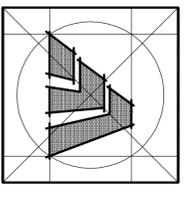
2
EXISTING LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3
EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



4
EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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FAX (203) 799-9871

Sheet Title:
EXTERIOR ELEVATIONS

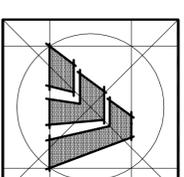
APPLICATION # 1020

DAGGS RESIDENCE
187-189 Hillside Ave.
Milford, Connecticut 06460

**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM**
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OORR)

Date: 04/15/16
Job Number: R.C.S.
Drawn By:





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 American Institute of Architects
 284 PATERPOCK RD. TEL. (203) 795-6566
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Sheet Title:
BUILDING SECTIONS

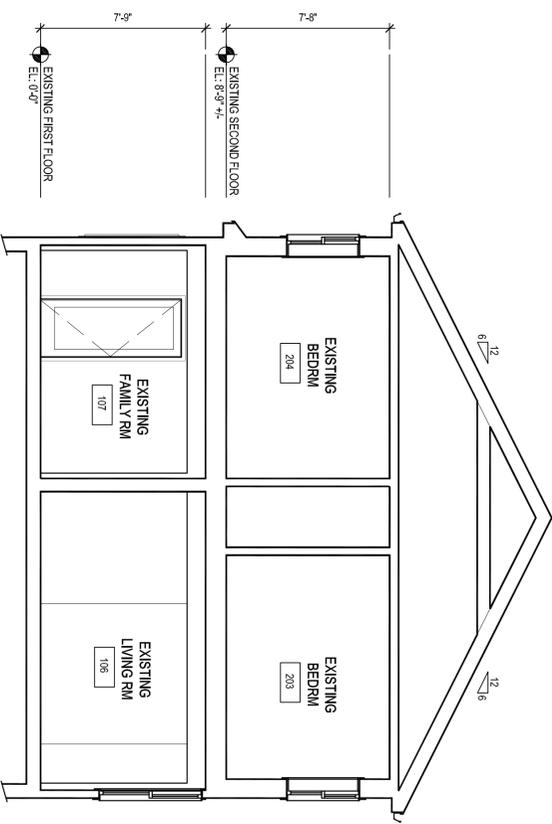
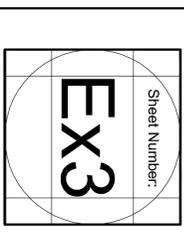
APPLICATION # 1020

DAGGS RESIDENCE
 187-189 Hillside Ave.
 Milford, Connecticut 06460

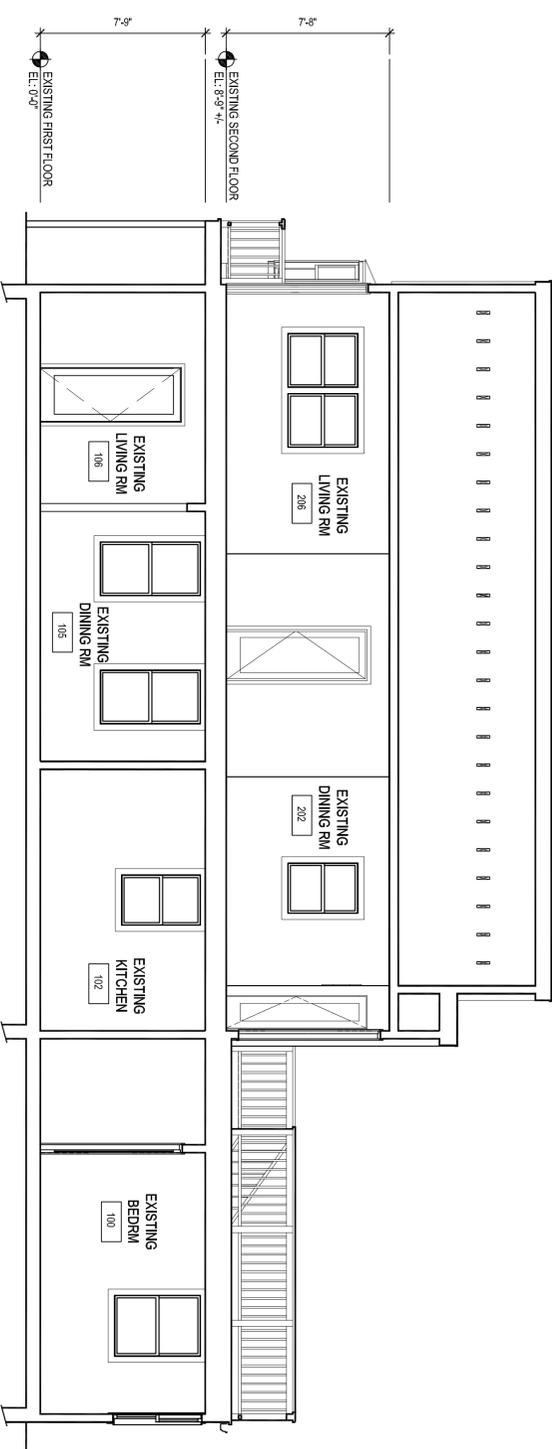
**STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING**
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 OWNER OCCUPIED REHABILITATION
 AND REBUILDING PROGRAM (OORR)

Date: 04/15/16
 Date: 04/15/16
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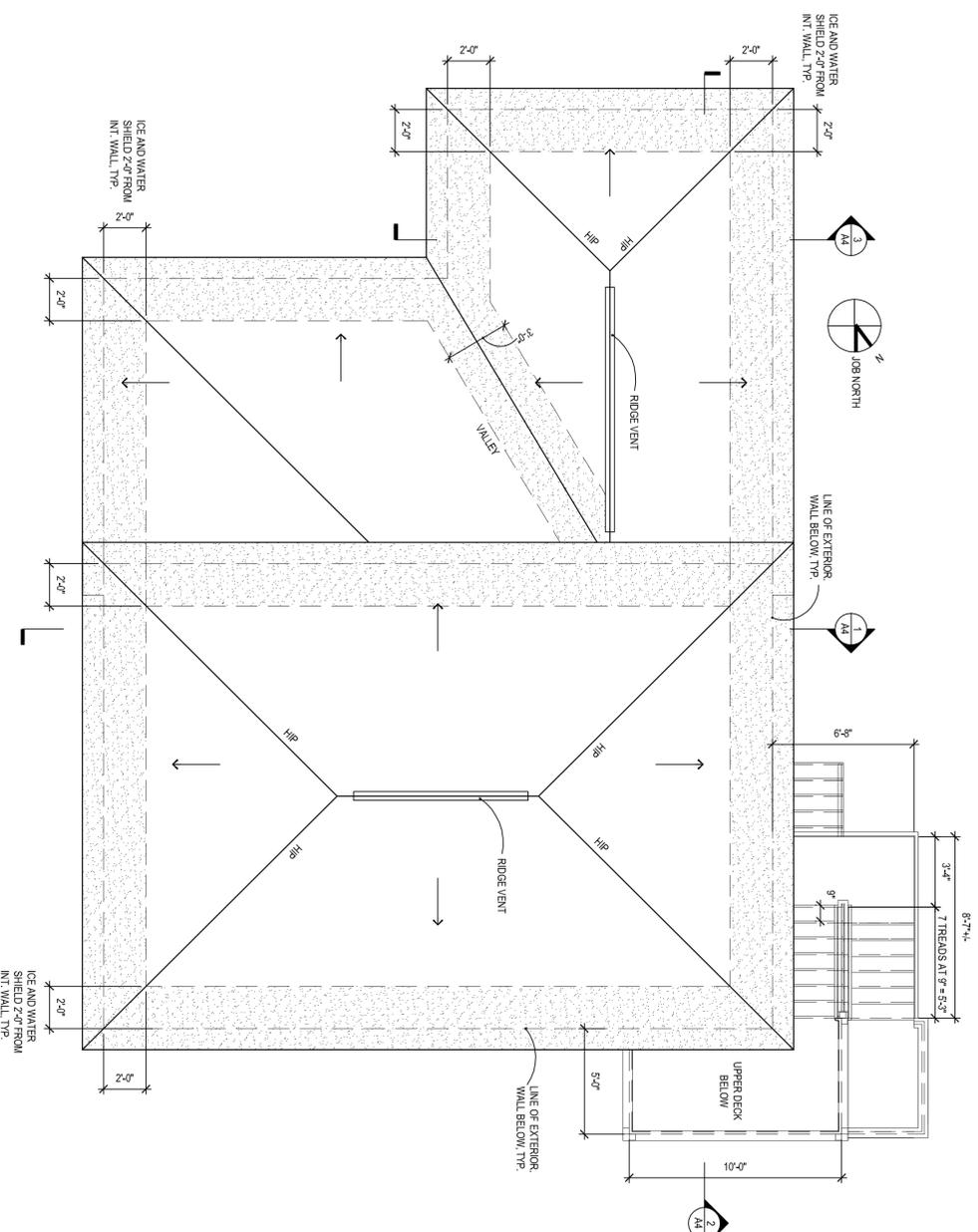
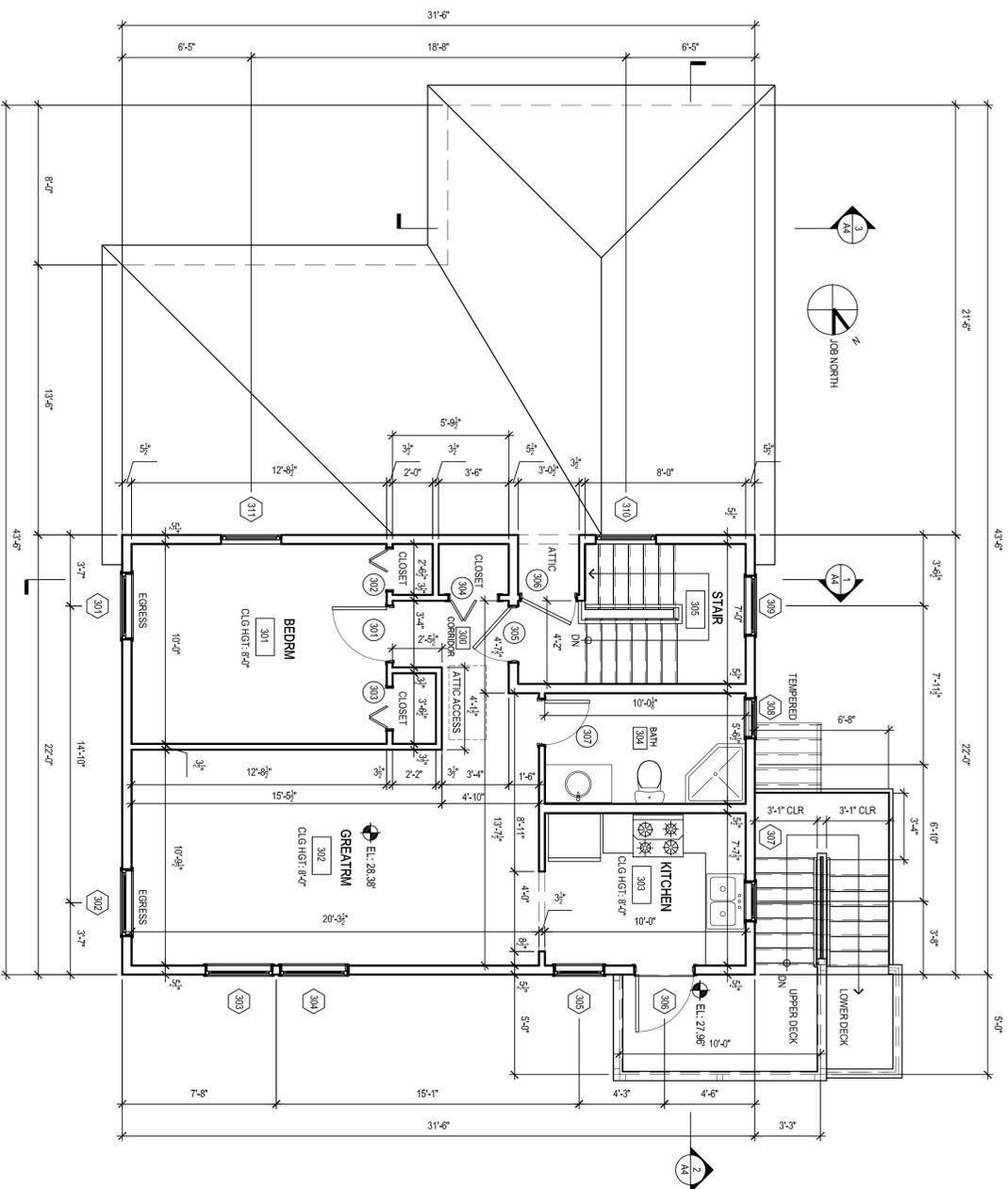
Job Number:
 Drawn By: R.C.S.



1 BUILDING SECTION
 SCALE: 1/4" = 1'-0"
 E3

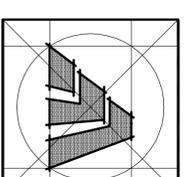


2 BUILDING SECTION
 SCALE: 1/4" = 1'-0"
 E3



ROOM FINISH SCHEDULE						
ROOM N.	ROOM NAME	FLOOR	BASE	CROWN	WALLS	CEILING
			NORTH	SOUTH	EAST	WEST
			PT GNB	PT GNB	PT GNB	PT GNB
200	CORRIDOR	HARDWD	WD	-	PT GNB	PT GNB
201	BEDRM	HARDWD	WD	-	PT GNB	PT GNB
202	BEDRM	HARDWD	WD	-	PT GNB	PT GNB
203	GREATRM	HARDWD	WD	-	PT GNB	PT GNB
204	KITCHEN	HARDWD	WD	-	PT GNB	PT GNB
205	not used	-	-	-	-	-
206	CORRIDOR	HARDWD	WD	-	PT GNB	PT GNB
207	BEDRM	HARDWD	WD	-	PT GNB	PT GNB
208	MASTER BEDRM	HARDWD	WD	-	PT GNB	PT GNB
209	BATH	HARDWD	TILE	-	PT GNB	PT GNB
300	CORRIDOR	HARDWD	WD	-	PT GNB	PT GNB
301	BEDRM	HARDWD	WD	-	PT GNB	PT GNB
302	GREATRM	HARDWD	WD	-	PT GNB	PT GNB
303	KITCHEN	HARDWD	WD	-	PT GNB	PT GNB
304	BATH	HARDWD	TILE	-	PT GNB	PT GNB
305	STAR	HARDWD	WD	-	PT GNB	PT GNB

NOTE 1. PT GNB = PAINT FINISH 1/2 GNB, TYP.



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ORANGE, CT 06467 FAX: (203) 769-9871

Sheet Title:
FLOOR PLANS

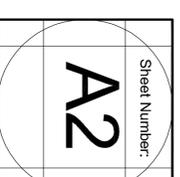
APPLICATION # 1020

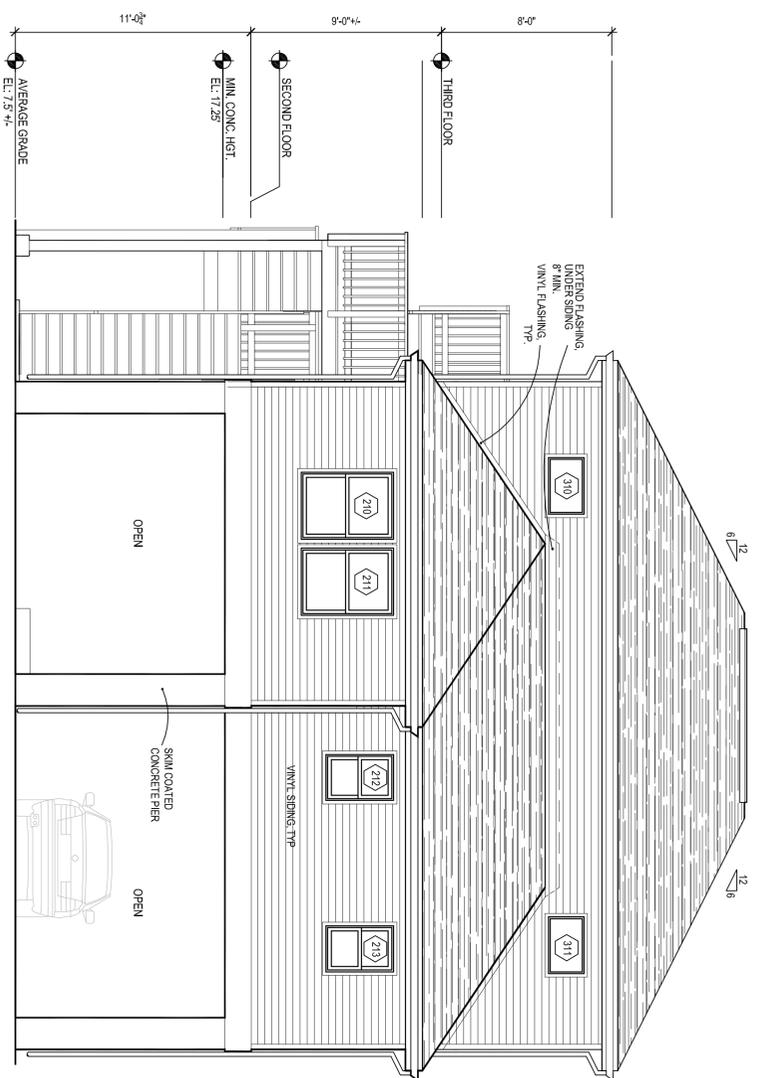
DAGGS RESIDENCE
187-189 Hillside Ave.
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OOR)

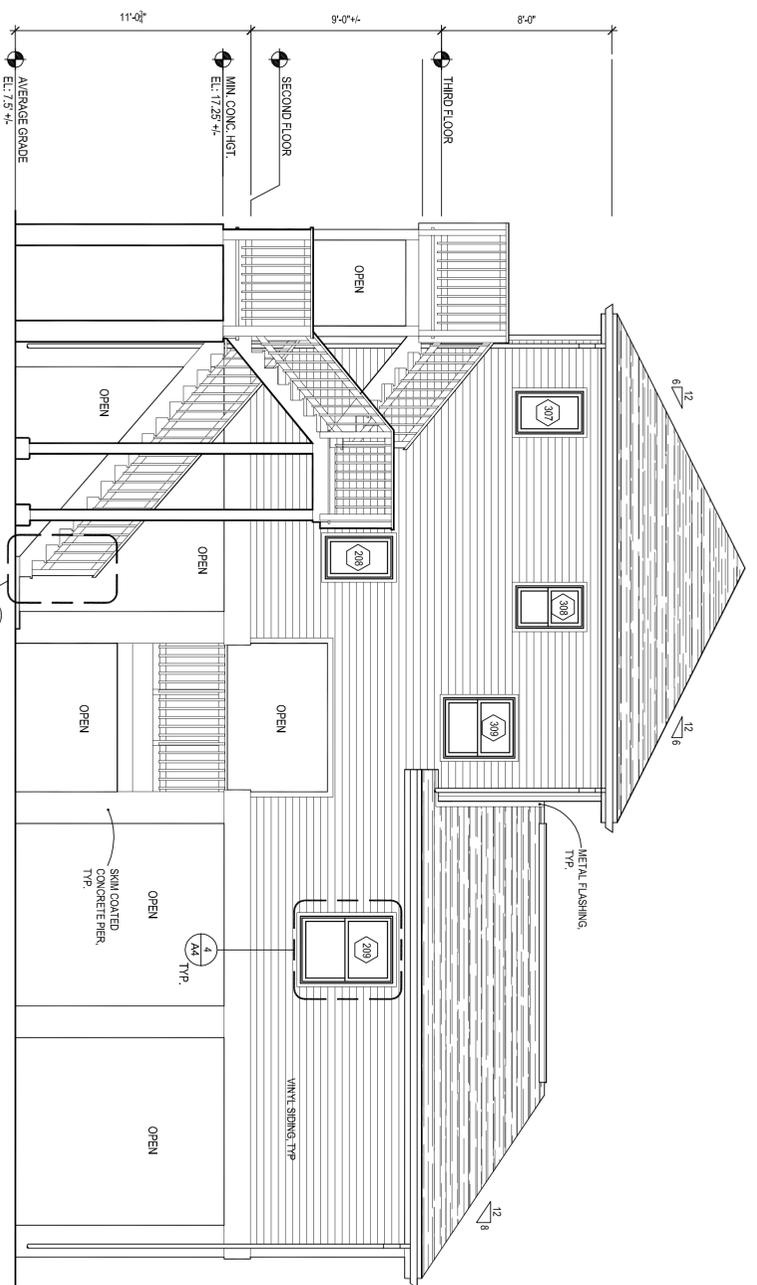
Date: 04/15/2016
ISSUED

Job Number:
Drawn By: R.C.S.

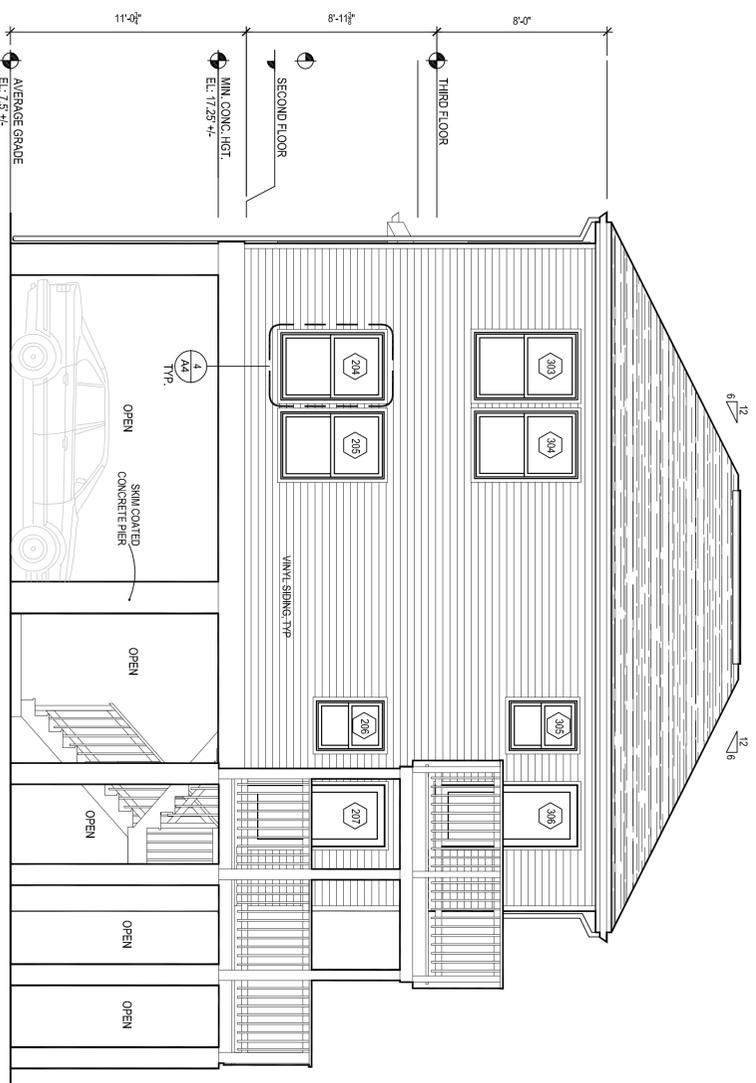




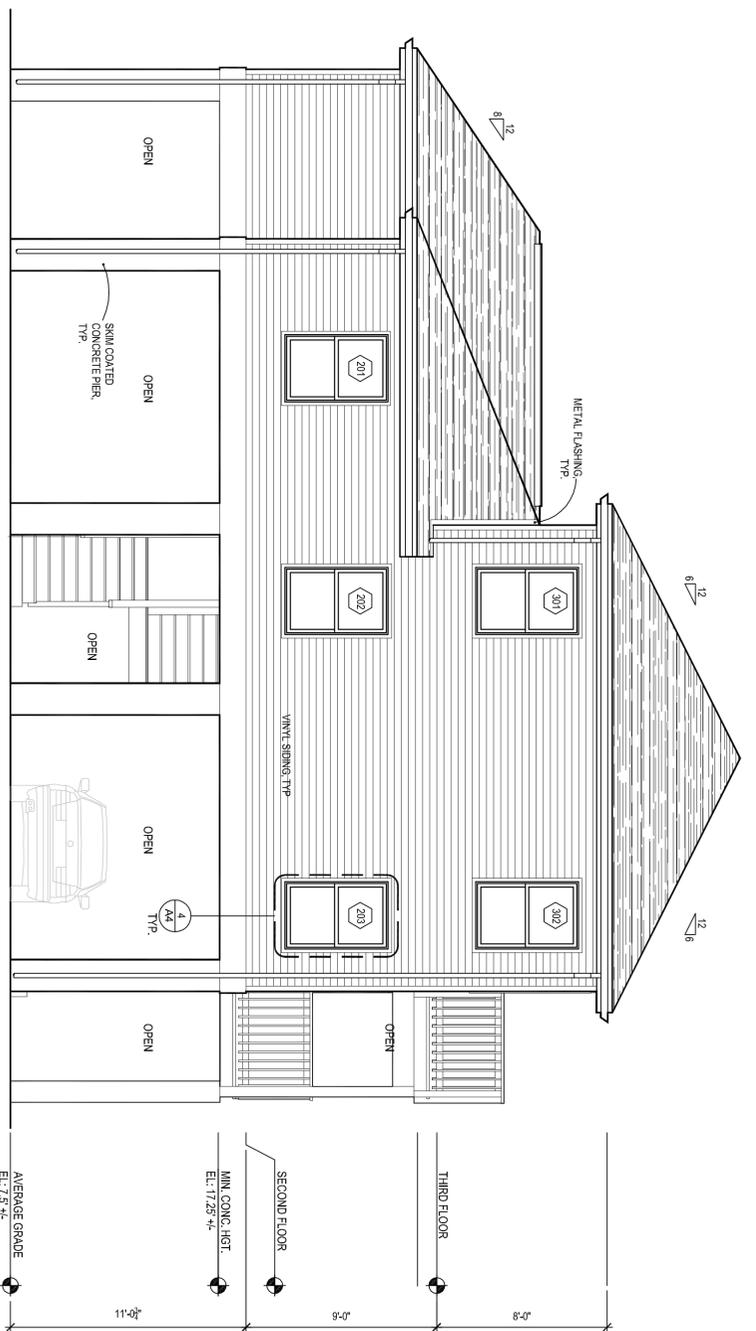
1 FRONT ELEVATION
A3 SCALE: 1/4" = 1'-0"



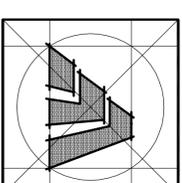
2 LEFT SIDE ELEVATION
A3 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
A3 SCALE: 1/4" = 1'-0"



4 RIGHT SIDE ELEVATION
A3 SCALE: 1/4" = 1'-0"



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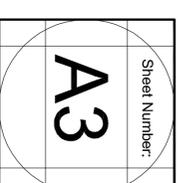
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EXTERIOR ELEVATIONS

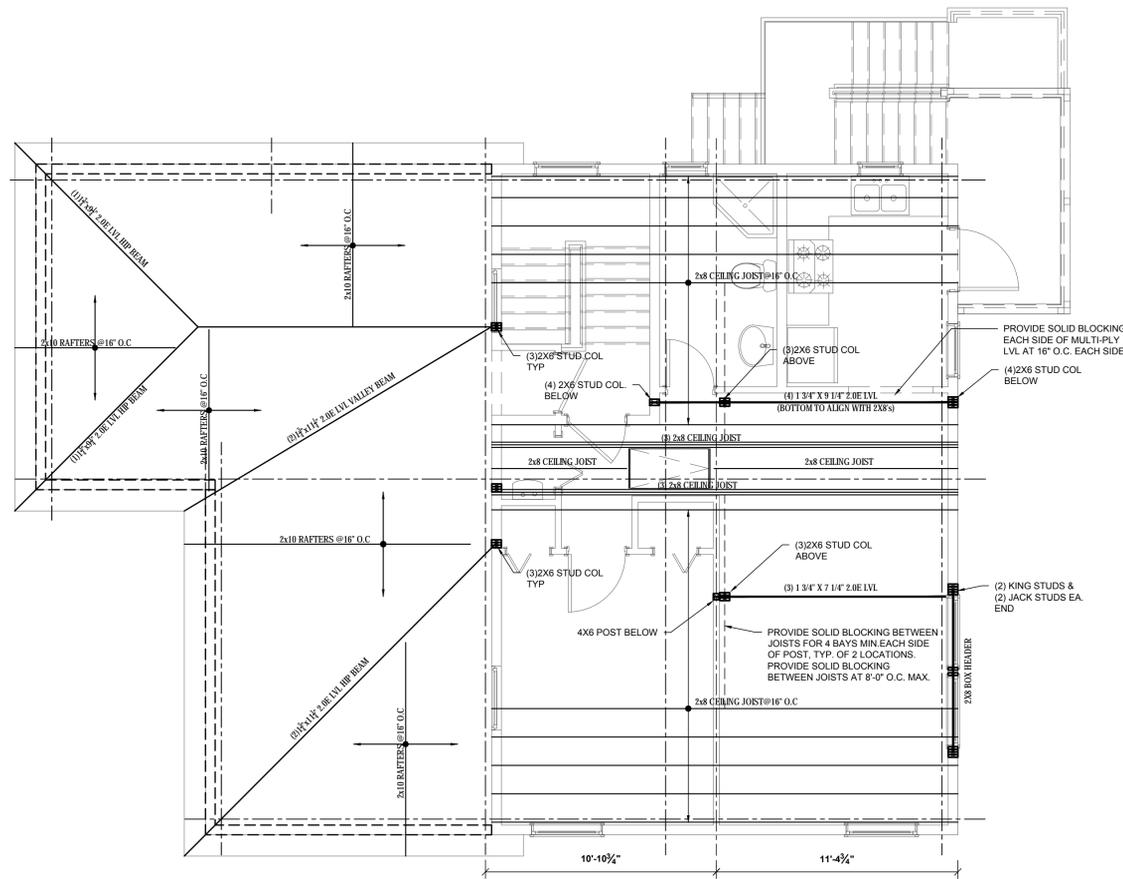
APPLICATION # 1020

DAGGS RESIDENCE
187-189 Hillside Ave.
Milford, Connecticut 06460

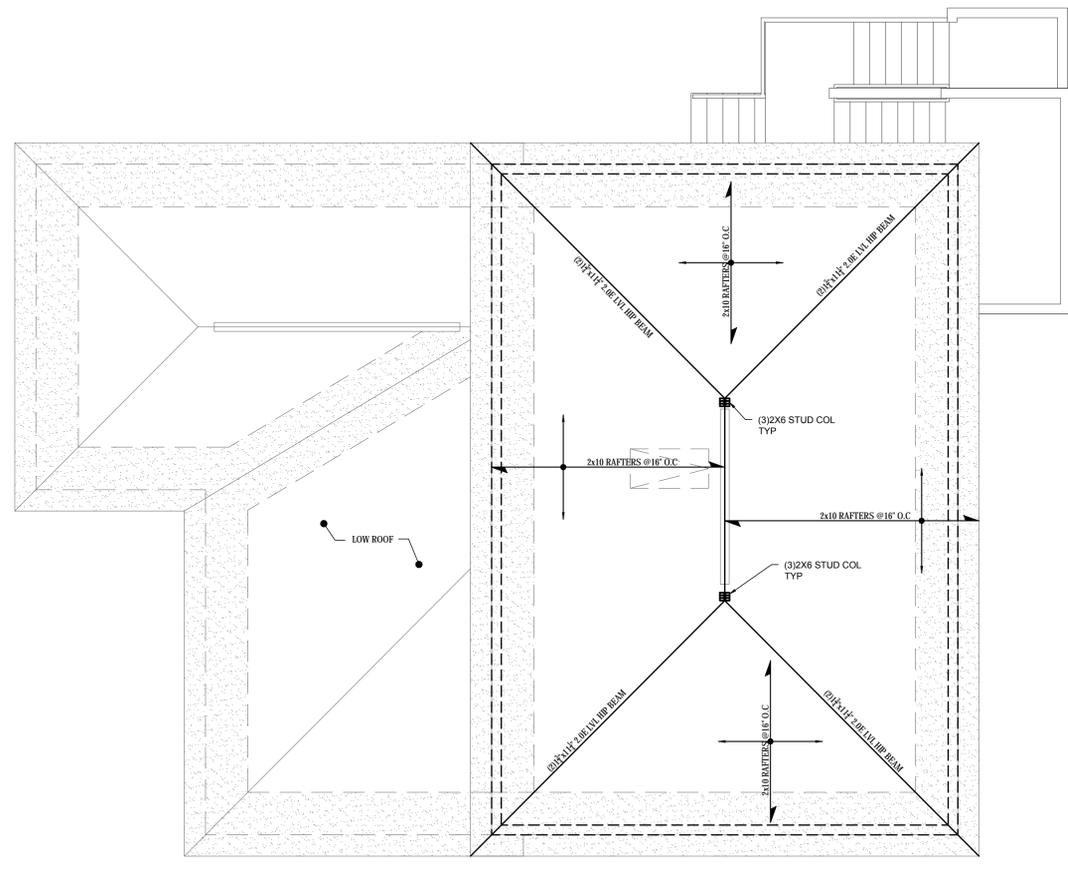
**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM**
OWNER OCCUPIED REHABILITATION
AND REBUILDING PROGRAM (OOR)

Date: 04/15/2016
Job Number: R.C.S.
Drawn By: R.C.S.

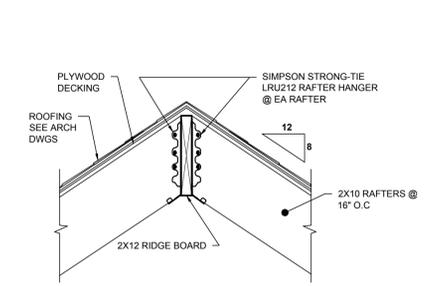




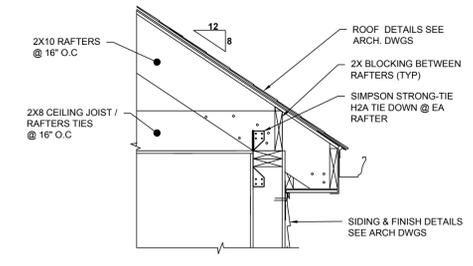
1 LOW ROOF/ THIRD FLOOR CEILING FRAMING PLAN
1/4"=1'-0"



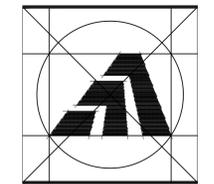
2 HIGH ROOF FRAMING PLAN
1/4"=1'-0"



RIDGE BEAM FRAMING - SECTION
3/4"=1'-0"



RAFTER / EAVE FRAMING - SECTION
3/4"=1'-0"



Amaya Architects
American Institute of Architects

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TEL (203) 795 5656
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SMEP Consultant:



Loureiro Engineering Associates, Inc.
100 Northwest Drive
Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-8822
An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.17

Sheet Title:
STRUCTURAL PLANS

APPLICATION # 1020

DAGGS RESIDENCE
189 Hillside Ave.
Milford, Connecticut 06460

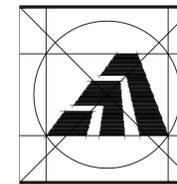
STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date:
ISSUED 4/15/2016

Job Number:
Drawn By: JRO
Approved By: EGS

Sheet Number:
S-4





Amaya Architects
American Institute of Architects

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ORANGE, CT 06477 FAX: (203) 799 3871

SMEP Consultant:



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Plainville, Connecticut 06062
Phone: 860-747-6181 / Fax: 860-747-8822
An Employee Owned Company
email: info@loureiro.com
Comm No. 01MH4.17

Sheet Title:
PLUMBING PLANS

APPLICATION # 1020

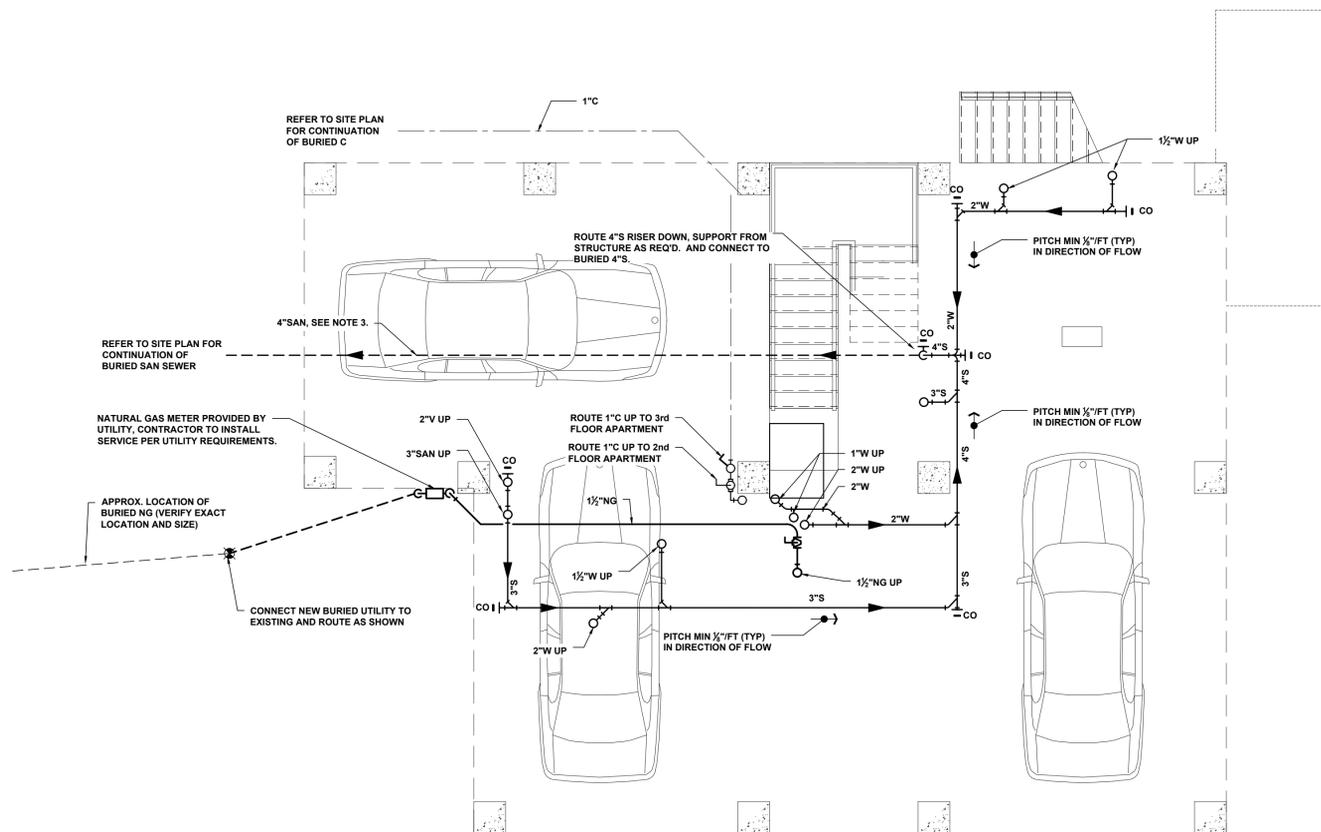
DAGGS RESIDENCE
189 Hillside Ave.
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

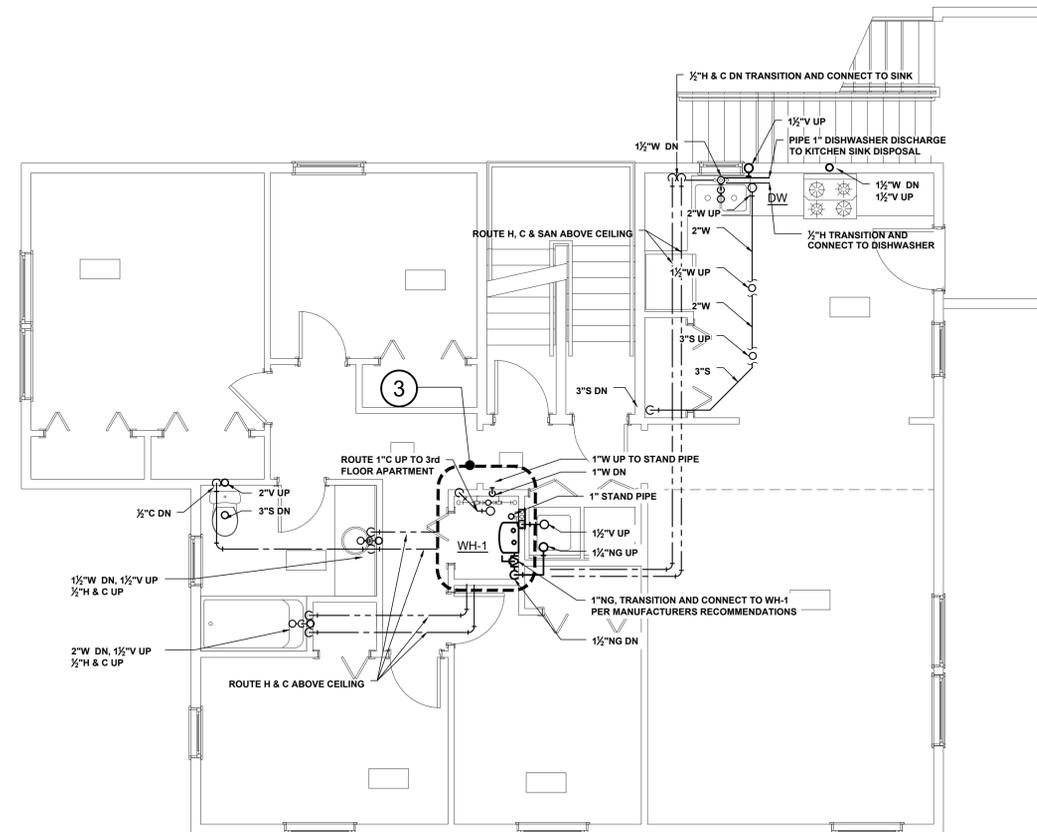
Date:
ISSUED 4/15/2016

Job Number:
Drawn By: JTF
Approved By:

Sheet Number:
P-1



1 FOUNDATION / CARPORT PLAN
1/4"=1'-0"

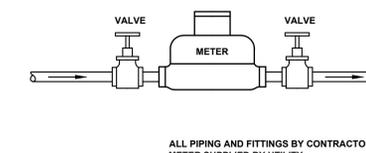


2 FIRST FLOOR PLAN
1/4"=1'-0"

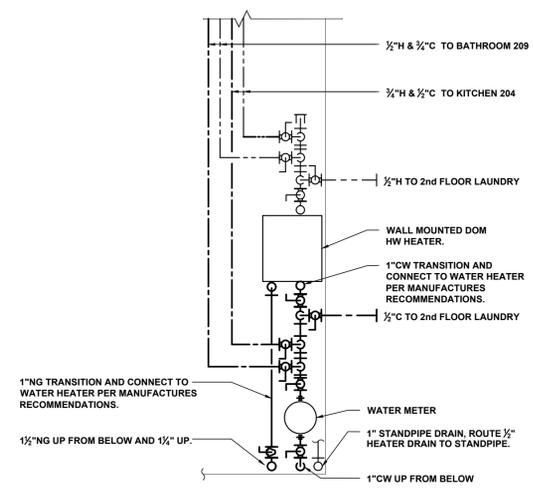
- NOTES:**
1. INFORMATION SHOWN IS BASED UPON CASUAL FIELD OBSERVATIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK.
 2. PIPE ROUTING SHOWN IS SCHEMATIC IN NATURE. ACTUAL ROUTING SHALL BE COORDINATED WITH EXISTING UTILITIES AND OTHER TRADES PRIOR TO THE START OF WORK.
 3. DOMESTIC COLD WATER, SANITARY AND NATURAL GAS SERVICES TO BE ELEVATED ABOVE FLOOD LEVEL AND INSTALLED PER UTILITY REQUIREMENTS. A BACKFLOW VALVE SHALL BE INSTALLED IN THE SANITARY MAIN.
 4. REMOVE ALL H, C, GAS & DRAIN PIPING SERVING BLDG AND RE-PIPE AS SHOWN.
 5. INSTALL ALL EQUIPMENT PER MANU. RECOMMENDATIONS.
 6. ALL WATER PIPING AT FIRST FLOOR TO BE HEAT TRACED, REFER TO ELEC. DWGS.
 7. PIPE 1/2"H&C VALVED BRANCHES TO EACH FIXTURE.

PLUMBING SYMBOL LEGEND					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	WASTE, SOIL AND STORM		BUTTERFLY VALVE		UNION
	BURIED PIPE		CHECK VALVE		CIRCULATING PUMP
	COLD		PRESSURE REDUCING VALVE		FLOOR DRAIN
	HOT		BACKFLOW PREVENTER		ROOF DRAIN
	RECIRCULATION		PLUG VALVE		CLEAN OUT
	VENT		CONTROL VALVE		THERMOMETER
	BALL VALVE		HOSE BIBB		PIPE ELBOW UP
	GATE VALVE		PRESSURE RELIEF VALVE		PIPE ELBOW DN
	OS&Y GATE VALVE		STRAINER		CAP

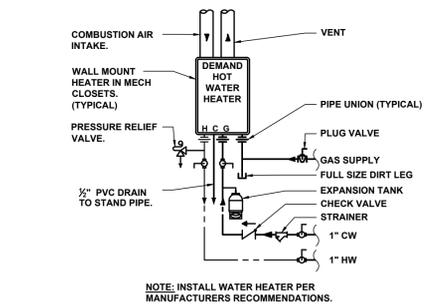
NOTE: ABOVE LEGEND IS GENERAL IN NATURE. NOT ALL SYMBOLS ARE ASSOCIATED WITH THIS PROJECT.



4 TYPICAL WATER METER PIPING DETAIL
NTS



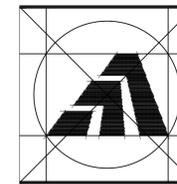
3 SCHEMATIC PIPING DIAGRAM AT WH 1
NTS



5 WATER HEATER PIPING SCHEMATIC DIAGRAM



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Comm No. 01MH4.17

Sheet Title:
PLUMBING PLANS

APPLICATION # 1020

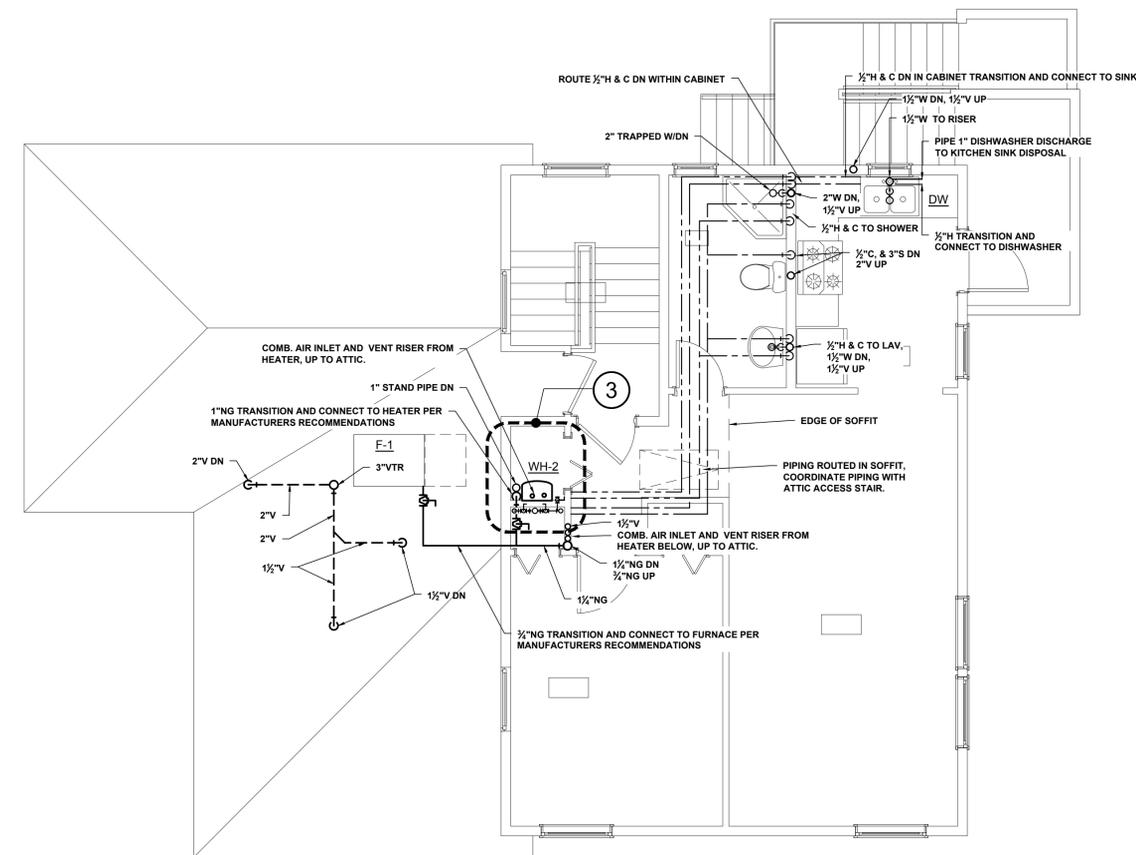
DAGGS RESIDENCE
189 Hillside Ave.
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

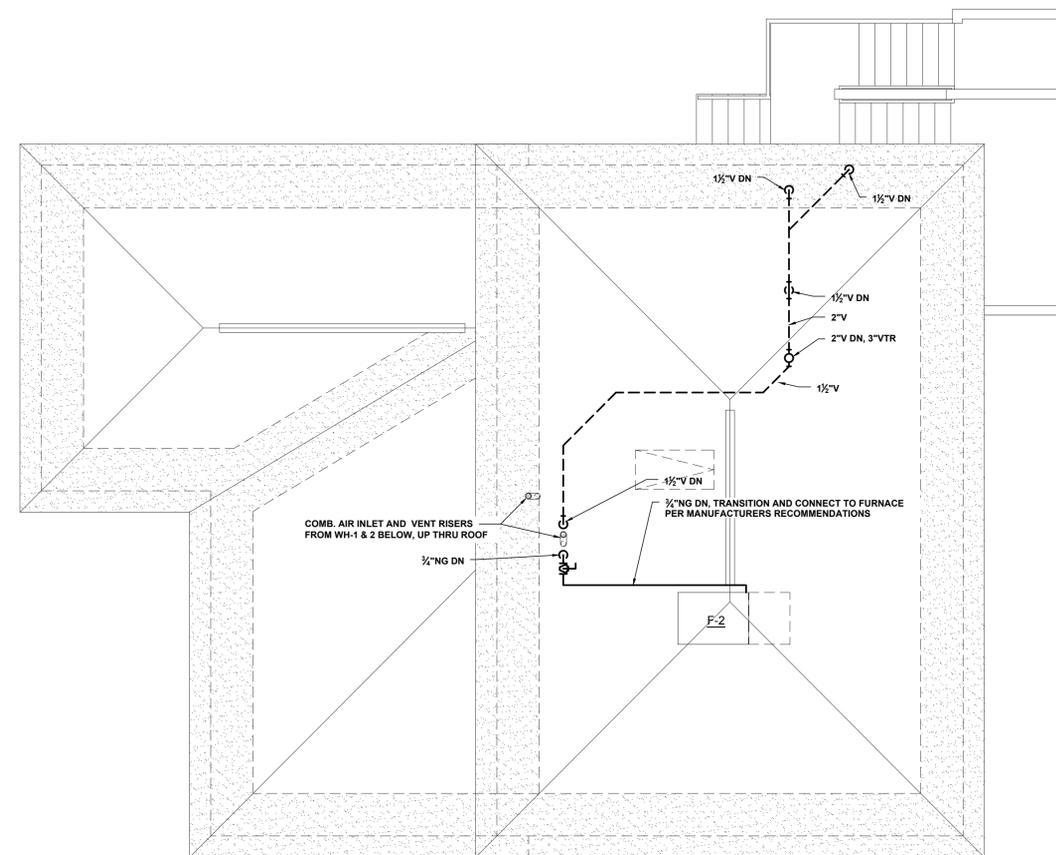
Date:
ISSUED 4/15/2016

Job Number:
Drawn By: JTF
Approved By: -

Sheet Number:
P-2



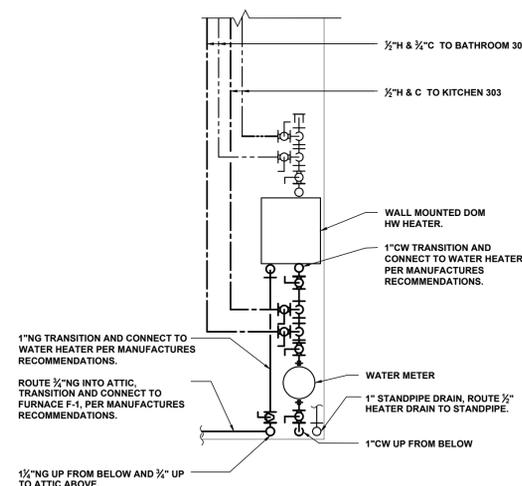
1 SECOND FLOOR PLAN
1/4"=1'-0"



2 ATTIC PLAN
1/4"=1'-0"

NOTES:

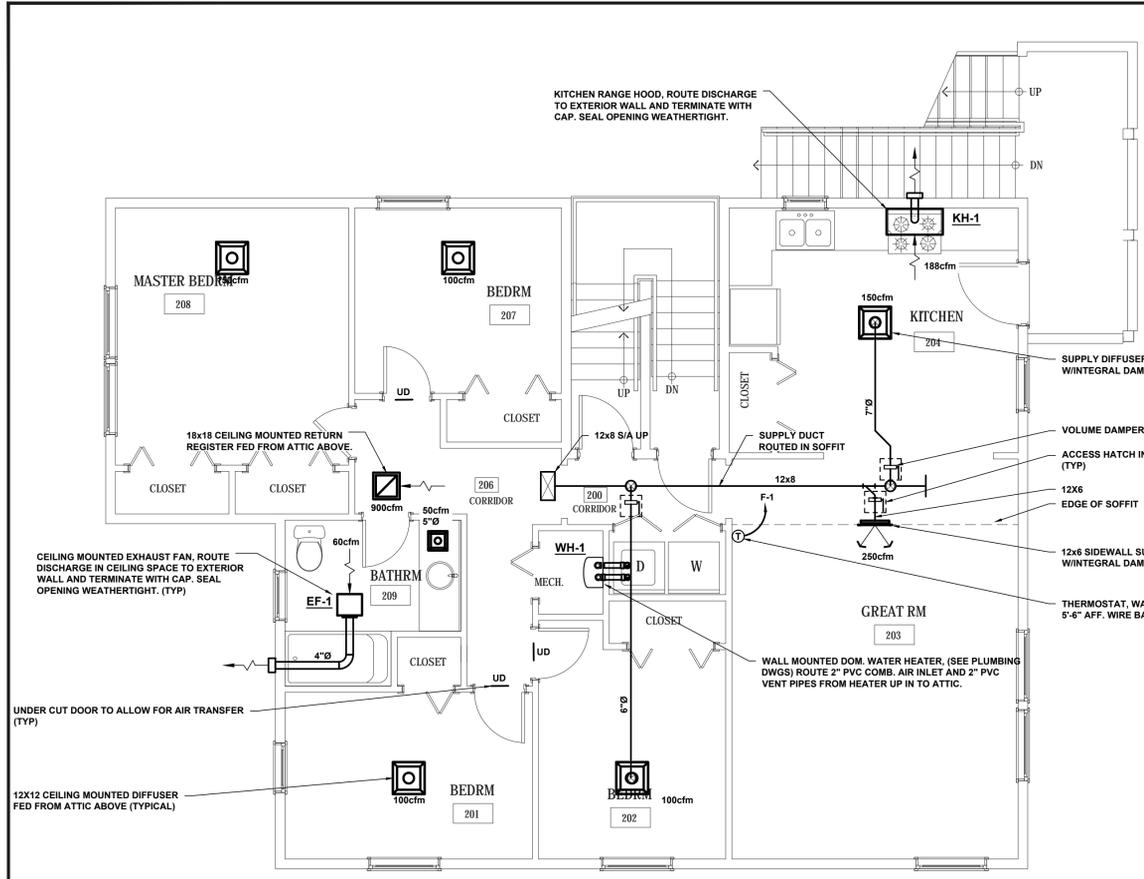
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2. PIPE ROUTING SHOWN IS SCHEMATIC IN NATURE. ACTUAL ROUTING SHALL BE COORDINATED WITH EXISTING UTILITIES AND OTHER TRADES PRIOR TO THE START OF WORK.
3. DOMESTIC COLD WATER, SANITARY AND NATURAL GAS SERVICES TO BE ELEVATED ABOVE FLOOD LEVEL AND INSTALLED PER UTILITY AND LOCAL TOWN REQUIREMENTS, INCLUDING INSTALLATION OF A BACK FLOW VALVE IN THE SANITARY SEWER.
4. CONTRACTOR SHALL DEMOLISH EXISTING BUILDING UTILITIES BACK TO SUIT INSTALLATION OF NEW UTILITIES SHOWN.
5. PIPE 1/2" H&C VALVED BRANCHES TO EACH FIXTURE.



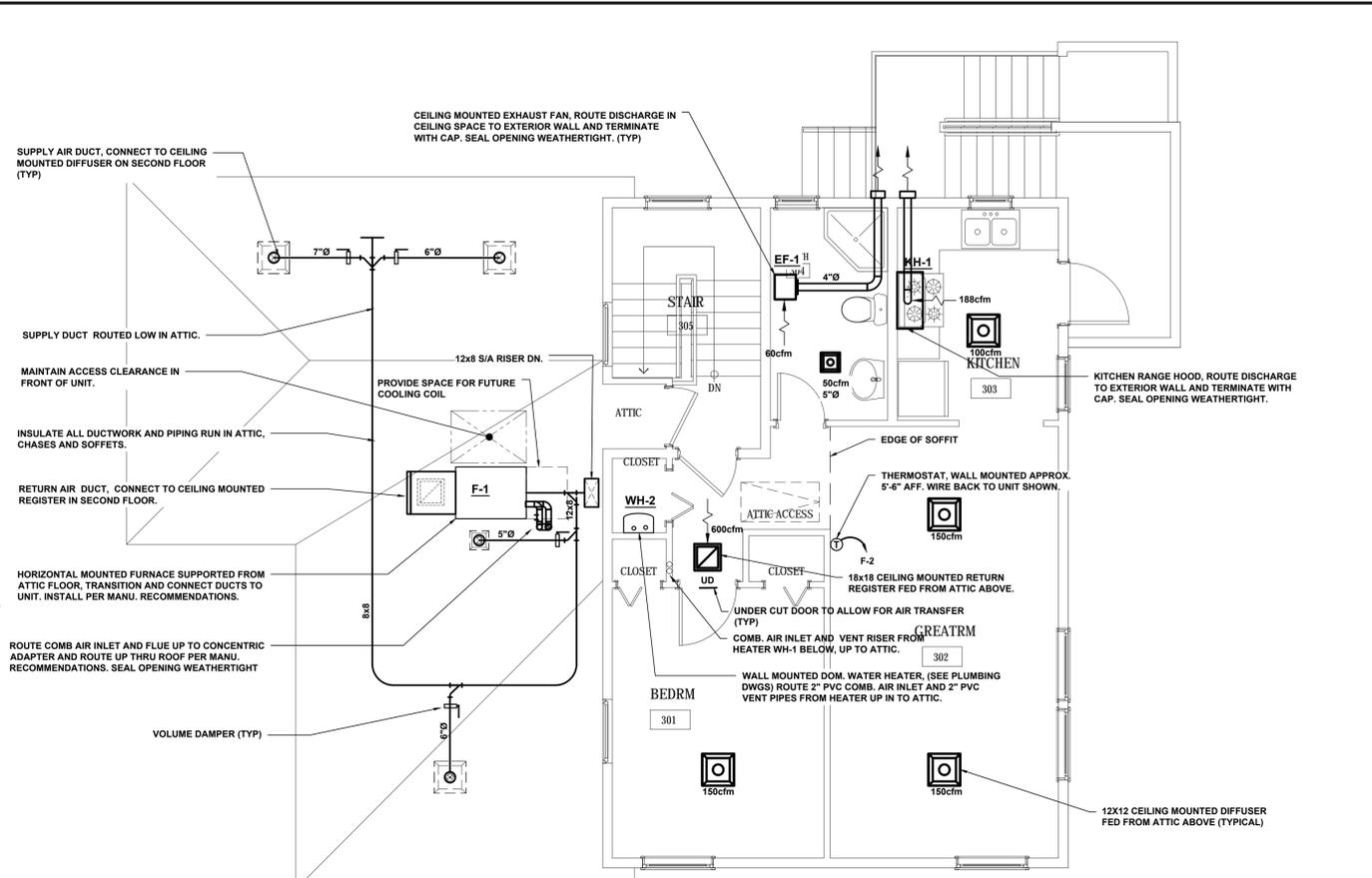
3 SCHEMATIC PIPING DIAGRAM AT WH 2
NTS



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1 FIRST FLOOR PLAN
1/4"=1'-0"



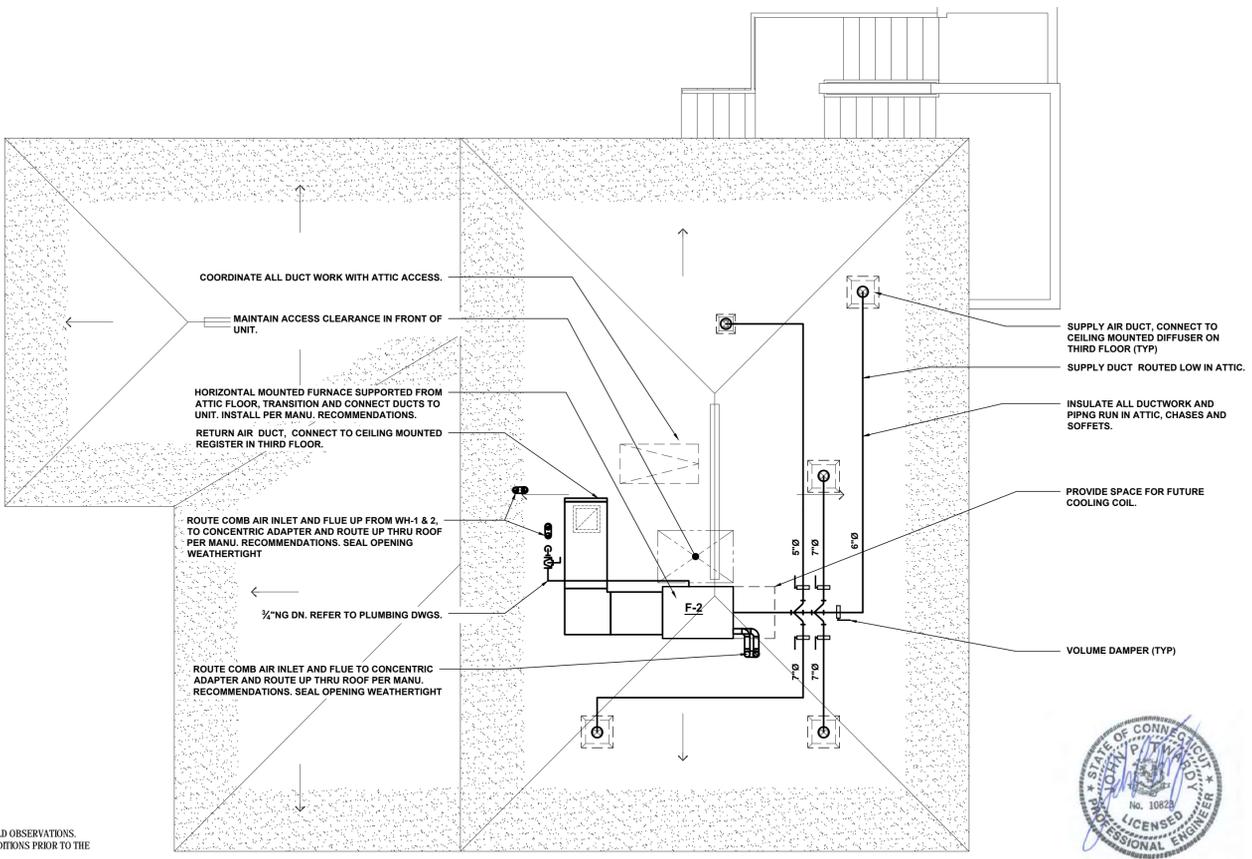
2 SECOND FLOOR PLAN
1/4"=1'-0"

EXHAUST FAN SCHEDULE											
NUMBER	AIR FLOW (CFM)	STATIC PRESSURE	MOTOR SPEED	FAN SPEED	HP	ELEC	AREA SERVING	TYPE	SONES	MANU/MODEL	REMARKS
EF-1	60	0.25"W.G.	-	1166RPM	25W	120V/1PH	BATHROOMS	CEILING	0.3	PANASONIC MODEL FV-08VQL4	SEE NOTES 1, 2, & 3
KH-1	188	0.25"W.G.	-	1653RPM	73W	120V/1PH	KITCHEN	HOOD	3.5	AIR KING MODEL ESDQ	SEE NOTES 1, 2, & 3

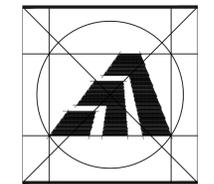
NOTES:
 1) MANU/MODEL LISTED ARE ONLY USED AS THE BASIS FOR DESIGN. REFER TO SPECIFICATIONS FOR LIST OF ACCEPTABLE MANU/MODELS.
 2) PROVIDE ALL FANS WITH DISCONNECT SWITCHES, AND BACKDRAFT DAMPERS.
 3) ALL FANS TO BE ENERGY STAR RATED.

MECHANICAL SYMBOL LEGEND					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
S/A	SUPPLY AIR	→	SUPPLY AIR OR OUTSIDE AIR FLOW	UD	UNDERCUT DOOR
R/A	RETURN AIR	←	RETURN AIR OR EXHAUST AIR FLOW	CUH	CABINET UNIT HEATER
O/A	OUTSIDE AIR	↓	VOLUME DAMPER (VD)	ESP	EXTERNAL STATIC PRESSURE
EXH	EXHAUST AIR	⊠	REGISTER OR GRILLE	→	PIPE ELBOW TURNED UP
EF	EXHAUST FAN	⊠	DIFFUSER	↘	PIPE ELBOW TURNED DOWN
AFF	ABOVE FINISHED FLOOR	↗	R/A RECTANGULAR DUCT RISER	—T—	PIPE TEE UP
BOD	BOTTOM OF DUCT ELEVATION	↘	S/A RECTANGULAR DUCT RISER	—T—	PIPE TEE DN
HX	HEAT EXCHANGER	↔	EXH RECTANGULAR DUCT RISER	—	PIPE CAP
FD	FIRE DAMPER	⊠	R/A ROUND DUCT RISER	—	GATE VALVE
CFM	CUBIC FEET PER MINUTE	⊠	S/A ROUND DUCT RISER	—	BALL VALVE
C	COLD WATER (DOMESTIC)	⊠	EXH ROUND DUCT RISER	—	PRESSURE GAUGE W/SHUTOFF COCK
ACC	AIR-COOLED CONDENSER	⊠	THERMOSTAT	—	CHECK VALVE
RTU	PACKAGED ROOF TOP AC UNIT	⊠	MOTORIZED DAMPER	—	BLIND FLANGE
VD	VOLUME DAMPER	⊠	TEMPERATURE SENSOR	—	CONTROL VALVE
UH	UNIT HEATER	⊠	FLEXIBLE CONNECTOR	—	SOLENOID VALVE
PF	PADDLE TYPE FAN	⊠	BALANCE VALVE	—	STRAINER
AC	AIR CONDITIONING	⊠	DRAIN VALVE	—	MANUAL AIR VENT
MAU	MAKE-UP AIR UNIT	⊠	PIPE UNION	—	PIPE REDUCER
CP	CONTROL PANEL	⊠	STRAINER WITH BLOWDOWN	—	DIRECTION OF FLOW
HWS&R	HOT WATER SUPPLY & RETURN	⊠	THERMOMETER	⊠	2-WAY CONTROL VALVE
P	PUMP	⊠	LOUVERED DOOR	⊠	3-WAY CONTROL VALVE
UD	UNDERCUT DOOR	⊠			

NOTES:
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 2. CONTRACTOR TO COORDINATE WITH EXISTING UTILITIES AND OTHER TRADES PRIOR TO THE START OF WORK.



2 ATTIC PLAN
1/4"=1'-0"



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 Comm No. 01MH4.17

Sheet Title:
MECHANICAL PLANS

APPLICATION # 1020

DAGGS RESIDENCE
 189 Hillside Ave.
 Milford, Connecticut 06460

STATE OF CONNECTICUT
 DEPARTMENT OF HOUSING
 COMMUNITY DEVELOPMENT BLOCK GRANT
 DISASTER RECOVERY PROGRAM
 (CDBG-DR)

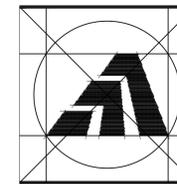
Date:
 ISSUED 4/15/2016

Job Number:
 Drawn By: JTF
 Approved By: RJS

Sheet Number:
M-1



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Sheet Title:
ELECTRICAL PLANS

APPLICATION # 1020

DAGGS RESIDENCE
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Milford, Connecticut 06460

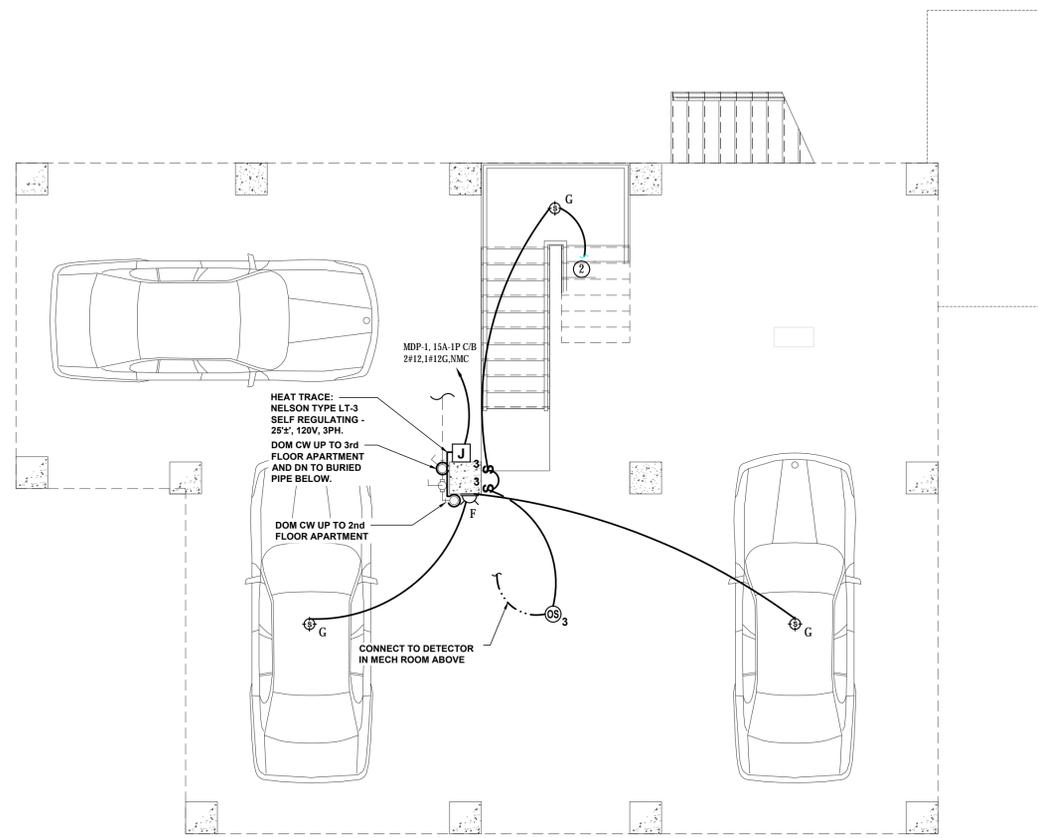
STATE OF CONNECTICUT
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Date:
ISSUED 4/15/2016

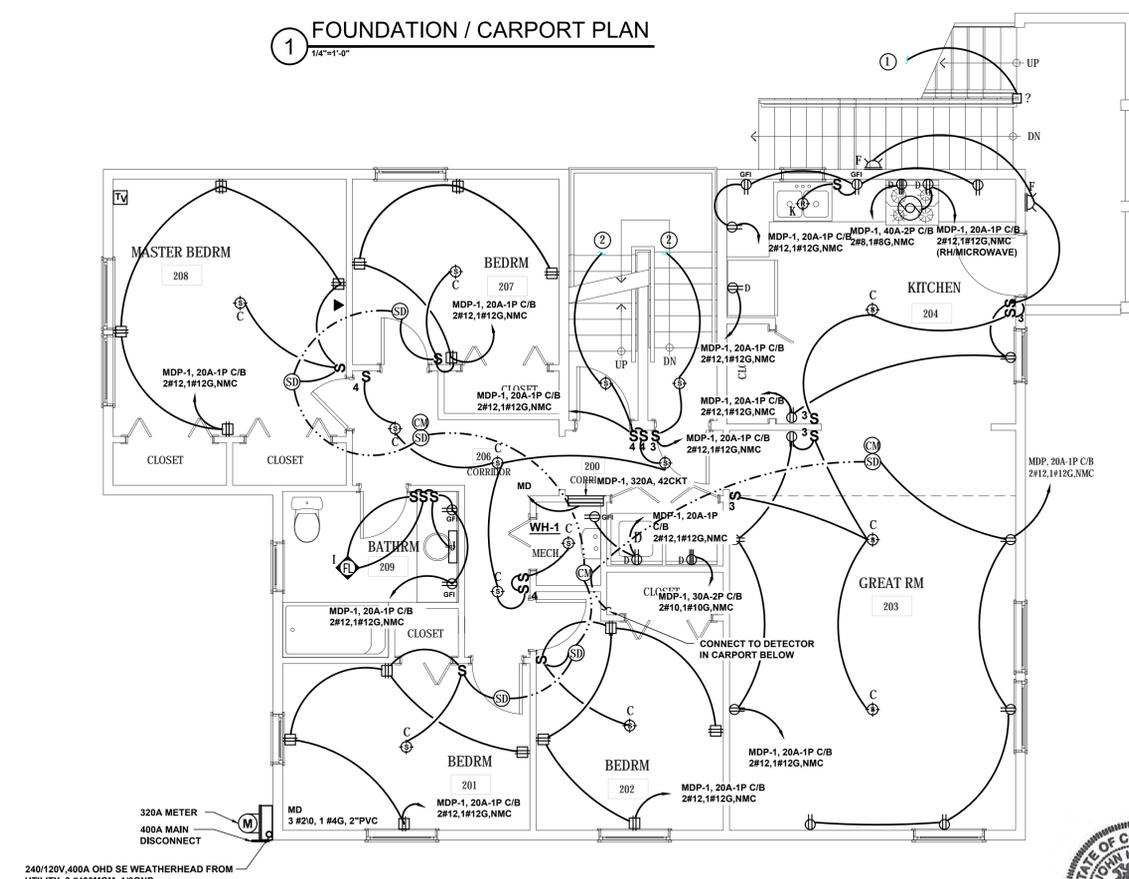
Job Number:
Drawn By: JTF
Approved By: JKH

Sheet Number:

E-1



1 FOUNDATION / CARPORT PLAN
1/4"=1'-0"



2 FIRST FLOOR PLAN
1/4"=1'-0"

ELECTRICAL FIXTURE KEY

- A, B PENDANT LIGHT FIXTURE
- C, G, L SURFACE MOUNTED LIGHT FIXTURE
- H1, H2 RECESSED CEILING LIGHT FIXTURE
- D WALL MOUNTED FLOOD LIGHT FIXTURE
- E EXTERIOR SURFACE LIGHT FIXTURE
- F EXTERIOR SURFACE LIGHT
- EXHAUST FANLIGHT
- J WALL MOUNTED 2 LIGHT VANITY FIXTURE
- K RECESSED LED CEILING LIGHT FIXTURE

- S SINGLE POLE SWITCH
- S₃ THREE WAY SWITCH
- S₄ FOUR WAY SWITCH
- S_P PULL SWITCH

- DUPLEX RECEPTACLE
- DUPLEX WITH GROUND FAULT INTERRUPTER
- DUPLEX WATER PROOF
- GROUND FAULT INTERRUPTER
- ARC FAULT INTERRUPTED DUPLEX RECEPTACLE
- ARC FAULT INTERRUPTED DUPLEX RECEPTACLE TOP SWITCHED
- QUADROPLEX RECEPTACLE
- DEDICATED RECEPTACLE
- DRYER RECEPTACLE

- TELEPHONE OUTLET / INTERNET OUTLET
- COAXIAL CABLE FOR TELEVISION

- EXHAUST FAN
- EXHAUST FANLIGHT
- CEILING FAN

- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- MDP MAIN DISTRIBUTION PANEL
- NMX ROMEX

NOTE: WHERE OUTLETS ARE NOT SPECIFICALLY LOCATED ON THE DRAWINGS, PROVIDE MINIMUM NUMBER TO SATISFY LOCAL AND ALL GOVERNING CODES. LOCATE AS DETERMINED BY THE FIELD WITH THE ARCHITECT. WHERE OUTLETS ARE REQUIRED BY CODE AND INSTALLED WITHOUT SUCH SPECIFIC DIRECTION, LOCATE AS DIRECTED BY THE ARCHITECT.

NOTE: COORDINATE FIXTURE LOCATION WITH FRAMING, HVAC PLANS AND INTERIOR DRAWINGS.

NOTE:
1. SMOKE, SMOKE/CARBON MONOXIDE DETECTORS TO BE WIRED IN TANDEM (TYPICAL)

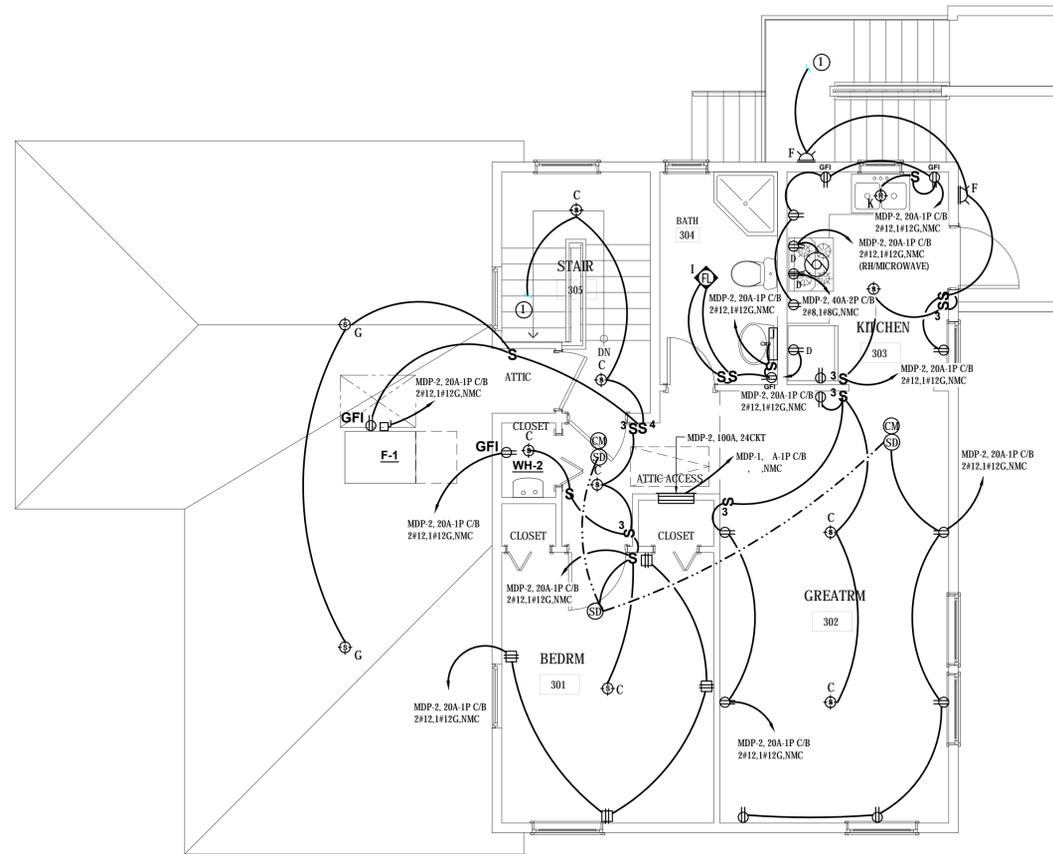
LUMINAIRE SCHEDULE

SYMBOL	LABEL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
	A	PROGRESS LIGHTING	F5011-09	12" O/N CANDESCENT PENDANT FIXTURE WITH BRUSHED NICKEL FINISH, PRE-WIRED WITH 10' OF WIRE UL-CUL LISTED	1 (m) 100w
	B	PROGRESS LIGHTING	F5012-09	23" O/N CANDESCENT PENDANT FIXTURE WITH BRUSHED NICKEL FINISH, PRE-WIRED WITH 10' OF WIRE UL-CUL LISTED	1 (m) 100w
	C	KUHLER	8109	INCANDESCENT 1 LAMP FLUSH MOUNT INDOOR CEILING FIXTURE WITH BRUSHED NICKEL FINISH	2 60W
	D	RAB LIGHTING	FF49QT/PC/ES	EXTERIOR FLUORESCENT FLOOD LIGHT, DIE CAST ALUMINUM HOUSING, TEMPERED GLASS.	42W TRIPLE
	E	LITHONIA LIGHTING	QSC 13F-120 P-LP-WH	EXTERIOR FLUORESCENT WALL LIGHT, ALUMINUM HOUSING WITH WHITE ACRYLIC DIFFUSER, DUSK/DAWN PHOTOCELL	1 18W G24 BASE
	F	QUORUM INTERNATIONAL	Q889-9	1 LIGHT OUTDOOR WALL SCONCE, BLACK OR WHITE FINISH, UL DAMP RATED	1 100W
	G	QUORUM INTERNATIONAL	3009-3-65	SATIN NICKEL MODERN SINGLE FLUSH MOUNT CEILING FIXTURE, GLASS COVER, DAMP LOCATION RATED	1 60W
	H1,2	PRESCOLITE	HI - DRXQL II - L86LDA10L	RECESSED LED DOWN LIGHT MODULE WITH QUICKLINK LED DOWNLIGHT ABSORBED HOUSING	.
	I	BROAN	QTXE110FLT	ULTRA QUIET HIGH PERFORMANCE BATH FAN/LIGHT FIXTURE WITH MODERN STYLED GRILLE	2 18W GU24 W/W NIGHT LIGHT
	J	SEA GULL	44081-982	2 LIGHT BATH VANITY FIXTURE IN BRUSHED NICKEL, SATIN WHITE GLASS, UL DAMP RATED.	2 100W
	K	WAC LIGHTING	HR-LED31-WT WITH HR-LED309-NIC-W	RECESSED LED DOWN LIGHT WITH NEW CONSTRUCTION HOUSING	3 LEDS MAX 6W
	L	SEA GULL	5328-982	SINGLE LIGHT BRUSHED NICKEL CEILING FIXTURE WITH WHITE GLASS DIFFUSER	A19 60W MAX.

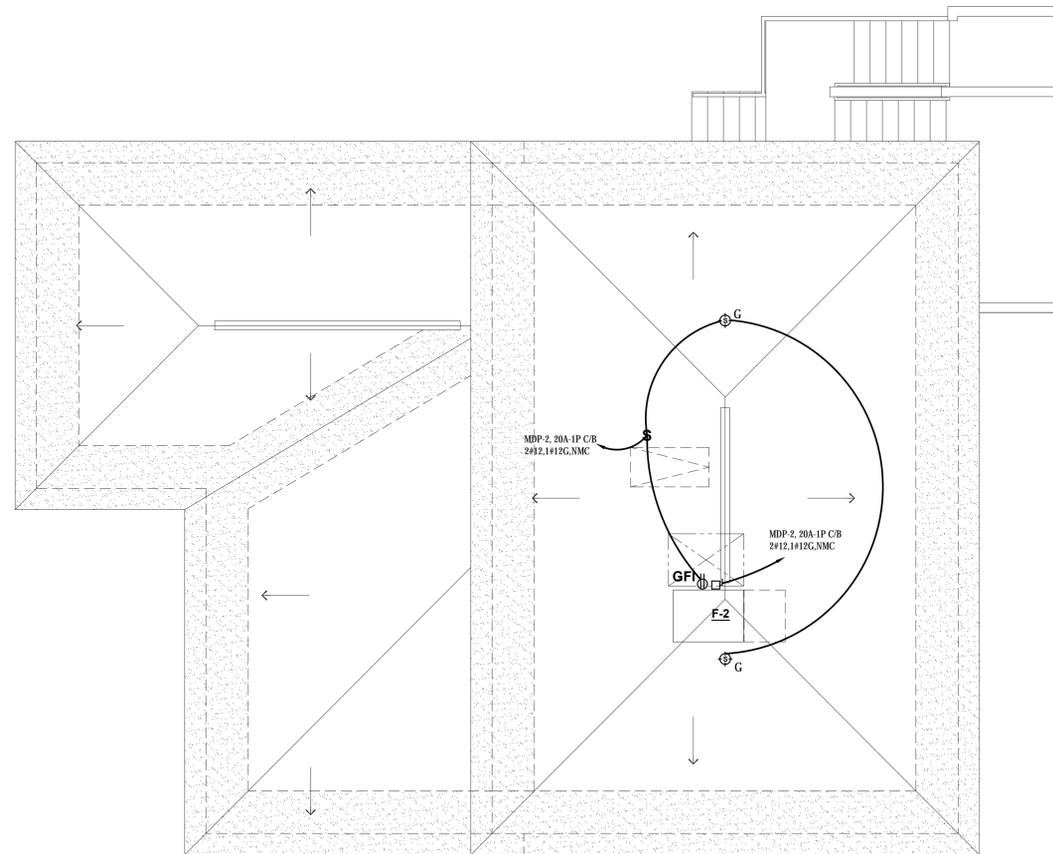


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1 SECOND FLOOR PLAN
1/4"=1'-0"



2 ATTIC PLAN
1/4"=1'-0"

ELECTRICAL FIXTURE KEY

- A, B PENDANT LIGHT FIXTURE
- C, G, L SURFACE MOUNTED LIGHT FIXTURE
- H1, H2 RECESSED CEILING LIGHT FIXTURE
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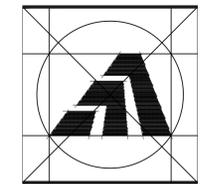
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LUMINAIRE SCHEDULE					
SYMBOL	LABEL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
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	C	KUHLER	8109	INCANDESCENT 2 LAMP FLUSH MOUNT INDOOR CEILING FIXTURE WITH BRUSHED NICKEL FINISH	2 60W
	D	RAB LIGHTING	FF49QT/PC/ES	EXTERIOR FLUORESCENT FLOOD LIGHT, DIE CAST ALUMINUM HOUSING, TEMPERED GLASS	42W TRIPLE
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	F	QUORUM INTERNATIONAL	Q880-9	1 LIGHT OUTDOOR WALL SCONCE, BLACK OR WHITE FINISH, UL DAMP RATED	1 100W
	G	QUORUM INTERNATIONAL	3009-3-65	SATIN NICKEL MODERN SINGLE FLUSH MOUNT CEILING FIXTURE, GLASS COVER, DAMP LOCATION RATED	1 60W
	H1, H2	PRESCOLITE	H1 - DRVQL H2 - LWBLEDAL0L	RECESSED LED DOWN LIGHT MODULE WITH QUICKLINK LED DOWNLIGHT ABSORBED HOUSING	-
	I	BROAN	QTXE110FLT	ULTRA QUIET HIGH PERFORMANCE BATH FANLIGHT FIXTURE WITH MODERN STYLED GRILLE	2 18W GU24 W/W NIGHT LIGHT
	J	SEA GULL	44061-962	2 LIGHT BATH VANITY FIXTURE IN BRUSHED NICKEL, SATIN WHITE GLASS, UL DAMP RATED	2 100W
	K	WAC LIGHTING	HR-LED351-WT WITH HR-LED359-NIC-W	RECESSED LED DOWN LIGHT WITH NEW CONSTRUCTION HOUSING	3 LEDS MAX 6W
	L	SEA GULL	5326-962	SINGLE LIGHT BRUSHED NICKEL CEILING FIXTURE WITH WHITE GLASS DIFFUSER	A19 60W MAX



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email: info@loureiro.com
Comm No. 01MH4.17

Sheet Title:
ELECTRICAL PLANS

APPLICATION # 1020

DAGGS RESIDENCE
189 Hillside Ave.
Milford, Connecticut 06460

STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)

Date:
ISSUED 4/15/2016

Job Number:
Drawn By: JTF
Approved By: JKH

Sheet Number:
E-2

DIVISION 15000 - MECHANICAL

PART 1 - GENERAL

- 1.1 PIPE HANGERS AND SUPPORTS SHALL MEET THE REQUIREMENTS OF MSS SP-89 AND SP-89 DEVELOPED BY THE MANUFACTURERS STANDARDIZATION SOCIETY OF THE VALVES AND FITTINGS INDUSTRY INC.
- 1.2 SEISMIC SUPPORTS AND RESTRAINTS FOR EQUIPMENT, DUCTWORK AND PIPING SHALL MEET STATE BUILDING CODE REQUIREMENTS AND SMACNA SEISMIC RESTRAINT MANUAL GUIDELINES.
- 1.3 GENERAL PIPING REQUIREMENTS:
 - A. ALL PIPING SHALL BE RUN PARALLEL TO THE LINE OF THE BUILDING.
 - B. PITCH OF LINES SHALL BE UNIFORM AND TRUE WITH NO SAGS, POCKETS OR TRAPS. ECCENTRIC FITTINGS SHALL BE USED WHERE NECESSARY TO PROVIDE COMPLETE DRAINAGE.
 - C. PROVIDE ISOLATION VALVES AT ALL CONNECTIONS TO FIXTURES AND ALL BRANCH TAKE-OFFS.
 - D. PROVIDE MANUAL VENT VALVES AT ALL HIGH POINTS AND DRAIN VALVES AT ALL LOW POINTS.
 - E. SCREWED PIPE JOINTS SHALL BE MADE WITH TEFLON PIPE THREAD TAPE OR APPROVED PIPE JOINT COMPOUND.
- 1.4 GENERAL DUCTWORK REQUIREMENTS:

- A. ALL DUCTWORK SHALL BE INSTALLED STRAIGHT AND PARALLEL TO LINE OF BUILDING AND SHALL BE SUBSTANTIALLY SUPPORTED AS REQUIRED BY SMACNA MANUALS.
- B. DUCT SIZES SHOWN SHALL BE STRICTLY FOLLOWED AND NO CHANGES IN SHAPE OR DIMENSIONS SHALL BE MADE BY THE CONTRACTOR WITHOUT FIRST OBTAINING APPROVAL FROM THE ENGINEER. WHERE DUCTS MUST BE OFFSET TO CLEAR STRUCTURAL MEMBERS AND, IF NECESSARY TO ALTER DIMENSIONS OF THE DUCTS, THIS MAY BE DONE PROVIDED THE CROSS-SECTIONAL AREA IS IN NO CASE REDUCED.
- C. ALL DUCT RUNS SHALL BE CHECKED FOR CLEARANCES BEFORE INSTALLATION OF ANY DUCTWORK. ABOVE HUNG CEILINGS, DUCT LOCATIONS AND ELEVATIONS MUST BE COORDINATED WITH WORK OF OTHER TRADES TO AVOID CONFLICTS WITH EXISTING DUCTWORK, PIPING, CONDUIT AND RECESSED FIXTURES. CLEARANCES BELOW DUCTS IN EQUIPMENT ROOMS AND AREAS WITHOUT HUNG CEILINGS MUST BE ADEQUATE FOR ACCESS AND MAINTENANCE OF EQUIPMENT.
- D. INSTALL FLEXIBLE DUCT CONNECTIONS AT INLET AND DISCHARGE DUCT CONNECTIONS TO FANS.
- E. INSTALL MINIMUM 10" X 12" ACCESS DOOR FOR INSPECTION IN DUCTS AT ALL DUCT MOUNTED ACCESSORIES, CONTROL COMPONENTS AND WHERE SHOWN ON THE DRAWINGS.

- 1.5 TESTING:
 - A. ALL PIPING SYSTEMS INSTALLED UNDER THIS CONTRACT SHALL BE PRESSURE TESTED WITH CLEAN WATER, UNLESS NOTED OTHERWISE, TO INSURE TIGHTNESS.
 - 1. HOT AND COLD WATER SUPPLY PIPING SHALL BE TESTED TO 150 PSIG.
 - 2. DRAINAGE AND VENT PIPING SHALL BE TESTED TO 10 FOOT HEAD OF WATER.
 - 3. GAS PIPING SHALL BE TESTED IN ACCORDANCE WITH NFPA 54. TEST PRESSURE SHALL BE 3 PSIG. TEST MEDIUM SHALL BE AIR, NITROGEN OR CARBON DIOXIDE.
 - B. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL PLUGS, PIPING, VALVES, HOSES, AND PUMPS NECESSARY FOR THE REQUIRED TESTS AND FOR PROPER DISPOSAL OF THE TEST MEDIUM UPON COMPLETION OF THE TESTS.

1.6 CLEANING OF THE PIPING SYSTEMS:

- A. UPON COMPLETION OF ALL WORK AND SATISFACTORY TESTING, ALL PIPING SYSTEMS (EXCEPT GAS PIPING) SHALL BE FLUSHED WITH WATER TO REMOVE DIRT, GRIT, CHIPS AND FOREIGN MATTER. GAS PIPING SHALL BE PURGED OF AIR IN ACCORDANCE WITH NFPA 54.
- B. WATER FOR FLUSHING SHALL BE USED IN SUFFICIENT QUANTITY TO PRODUCE A VELOCITY OF AT LEAST 2.5 FEET PER SECOND. FLUSHING SHALL CONTINUE UNTIL DISCHARGE WATER SHOWS NO DISCOLORATION OR EVIDENCE OF FOREIGN MATERIALS.
- C. DURING FLUSHING OPERATION, ALL VALVES SHALL BE OPERATED SEVERAL TIMES, BYPASSES OPENED AND EQUIPMENT FLUSHED.
- D. UPON COMPLETION OF FLUSHING OPERATIONS, ALL STRAINERS, FILTERS AND BLOWDOWNS SHALL BE REMOVED AND CLEANED OF ACCUMULATED WASTE.
- E. CARE SHOULD BE TAKEN TO INSURE THE COMPLETE REMOVAL OF ALL WATER FROM THE LINE OR SYSTEM AFTER TESTING. IF THERE IS ANY DANGER OF CONTAMINATION OR FREEZING, BLOW OUT THE FLUID WITH DRY, OIL-FREE AIR.

- 1.7 CLEANING AND STERILIZATION OF POTABLE WATER SYSTEM: PURGE OF DELETERIOUS MATTER AND DISINFECT PRIOR TO USE. THE METHOD TO BE FOLLOWED SHALL BE THAT PRESCRIBED BY THE HEALTH AUTHORITY HAVING JURISDICTION, OR, IN THE ABSENCE OF A PRESCRIBED METHOD, THE PROCEDURE DESCRIBED IN EITHER AWWA C652 OR AWWA C518.

- 1.8 PIPE INSULATION SHALL BE RIGID, HEAVY DENSITY, PREFORMED GLASS FIBER, WITH ALL SERVICE JACKET. JACKET SHALL HAVE PRESSURE SENSITIVE TAPE CLOSURE. BUTT JOINTS SHALL HAVE 3" WIDE TAPE OF SAME MATERIAL. VALVES AND FITTINGS SHALL BE INSULATED WITH ZESTON, OR APPROVED EQUAL INSULATED PVC, ONE PIECE, SNAP-TYPE COVERS AND ZESTON 1 1/2" Z-TAPE, 10 MIL. EXTERIOR INSULATED PIPES SHALL HAVE ALUMINUM JACKET. INSULATION THICKNESS AS FOLLOWS:

SYSTEM	INSULATION THICKNESS
A. DOMESTIC COLD WATER EXTERIOR TO BLDG ENVELOPE	2"
B. DOMESTIC COLD WATER	1-1/2"
C. DOMESTIC HOT WATER AND TEMPERED HW	1-1/2"

1.9 PIPE IDENTIFICATION:

- A. ALL PIPING SHALL BE IDENTIFIED WITH NAME AND FLOW DIRECTION ARROWS. MARKERS SHALL BE PLACED EVERY 40 LINEAL FEET ON STRAIGHT RUNS, AT CHANGES IN DIRECTION, AND AT WALL PENETRATIONS (BOTH SIDES).
- B. PIPE MARKERS SHALL BE EQUAL TO SETMARK, AS MANUFACTURED BY SETON NAMEPLATE CO.
 - 1. TEXT AND BACKGROUND COLORS SHALL FOLLOW ANSI A13.1.

1.10 DUCT INSULATION:

- A. MATERIALS SHALL BE MANVILLE, OWENS-CORNING, CERTAINTEEED OR APPROVED EQUAL.
- B. INSULATION FOR SUPPLY AND RETURN AIR DUCTWORK SHALL BE 1-1/2", 1 LB. NOMINAL DENSITY FIBERGLASS BLANKET, R-5 MIN. WITH FSK JACKET APPLIED AS RECOMMENDED BY THE MANUFACTURER.

PART 2 - PLUMBING

- 2.1 WATER PIPING: SHALL BE TYPE L HARD DRAWN COPPER TUBING CONFORMING TO ASTM B88, WITH ASME B16.22 WROUGHT COPPER FITTINGS, ASTM B32 SOLDER GRADE 95TA JOINTS, HEX PIPING WITH ASSOCIATED FITTINGS ALLOWED FOR INDIVIDUAL RUNOUTS FROM HEADER.
- 2.2 BURIED DRAINAGE PIPING: SANITARY AND VENT PIPING SHALL BE CENTRIFUGALLY SPUN, BELL AND SPIGOT, SERVICE WEIGHT, CAST IRON PIPE, TAR COATED CONFORMING TO ASTM A74. FITTINGS SHALL BE MADE OF SAME MATERIAL AS PIPE AND SHALL BE COMPATIBLE WITH IT. JOINTS SHALL BE MADE USING NEOPRENE RUBBER GASKET FOR PUSH-ON JOINTING.
- 2.3 ABOVE GROUND DRAINAGE PIPING: SANITARY AND VENT PIPING SHALL BE CENTRIFUGALLY SPUN, BELL AND SPIGOT, SERVICE WEIGHT "NO HUB" CAST IRON PIPE, TAR COATED, CONFORMING TO ASTM A74. FITTINGS SHALL BE MADE OF SAME MATERIAL AS PIPE AND SHALL BE COMPATIBLE WITH IT. JOINTS SHALL BE MADE USING NEOPRENE SEALING SLEEVE AND A 4-BAND STAINLESS STEEL SHIELD WITH TIGHTENING DEVICE.
- 2.4 NATURAL GAS PIPING: NATURAL GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL CONFORMING TO ASTM A53. FITTINGS SHALL BE 150 LB MALLEABLE IRON SCREWED CONFORMING TO ASTM B16.3. JOINTS SHALL BE THREADED OR WELDED IN ACCORDANCE WITH ANSI B31.2 AND NFPA 54.

- 2.5 VALVES SHALL BE AS FOLLOWS:
 - A. BALL VALVES: 2" AND SMALLER - JAMESBURY CLINCHER SERIES 2000.
 - B. PLUG VALVES: 2" AND SMALLER - DEZURIK SERIES 100.

- 2.6 WATER HAMMER ARRESTERS: TYPE "K" HARD DRAWN COPPER BARREL, BRASS PISTON AND THREADED ADAPTER, NORMAL OPERATING PRESSURE .35 TO .250 PSIG. WATER HAMMER ARRESTERS SHALL BE PRECISION PLUMBING PRODUCTS INC. SC SERIES, MODEL SC500 OR EQUAL.

2.7 PLUMBING FIXTURES (OR APPROVED EQUAL):

- A. WATER CLOSET: VITREOUS CHINA, FLOOR MOUNTED, ELONGATED BOWL, WHITE, LOW CONSUMPTION 1.6 GPF, AMERICAN STANDARD MODEL 2214B.094 WITH AMERICAN STANDARD MODEL 524.019 WHITE SEAT.
- B. LAVATORY: ENAMEL STEEL, WHITE, 4" CENTERS, AMERICAN STANDARD MODEL 3004.207. PROVIDE CHROME FINISHED, SINGLE LEVER HANDLE FAUCET, AMERICAN STANDARD MODEL 2175.502 WITH 1.5 GPM AERATOR, SUPPLIES AND 1-1/4" TAILPIECE WITH POP-UP DRAIN.
- C. SHOWER/TUB: 60"X32"X72.5", ONE-PIECE, WHITE, SOLID SURFACE, AQUARIUS MODEL G-6004-TS. PROVIDE CHROME FINISHED SYMMONS ALLURA MODEL S-4702 TUB/SHOWER SYSTEM WITH SYMMONS TEMPTROL PRESSURE BALANCING, DIAPHRAGM TYPE MIXING VALVE WITH 2.0 GPM FLOW RESTRICTOR, DIVERTER/VOLUME CONTROL AND TUB SPOUT.
- D. KITCHEN SINK: COUNTER MOUNTED, SELF-RIMMING, 18 GA. STAINLESS STEEL, SINGLE HOLE, JUST MODEL SLX-2225-A-G. PROVIDE SINGLE HANDLE, PULL OUT SPRAY, CHROME FINISHED FAUCET, JUST MODEL JPO-1500 WITH 2.2 GPM AERATOR, JUST MODEL JB-98 DRAIN WITH STRAINER AND 1-1/2" TAILPIECE.
- E. CLOTHES WASHER CONNECTION: SYMMONS MODEL W-602 WITH BRASS WATER CONTROL VALVES AND DRAIN.
- F. SHOWER: FLOOR MOUNTED, WHITE TWO-PIECE GELCOATED FIBERGLASS STALL WITH 7" DAM WALL SURROUND AND CENTER DRAIN - OASIS LEGACY MODEL SH-P-38. PROVIDE WITH SYMMONS TEMPTROL PRESSURE BALANCING, DIAPHRAGM MIXING VALVE WITH 2.0 GPM FLOW RESTRICTOR, VOLUME CONTROL AND SHOWER HEAD.

2.8 PLUMBING EQUIPMENT

- A. DOMESTIC WATER HEATER SHALL BE ENERGY STAR RATED, PACKAGED, WALL MOUNTED, NATURAL GAS-FIRED, TANKLESS, ULTRA HIGH EFFICIENCY (0.98 ENERGY FACTOR), CONDENSING TYPE, NAVIEN MODEL NPE-180S OR APPROVED EQUAL. PROVIDE WITH INTEGRAL DDC CONTROLS, FULLY MODULATING BURNER WITH DIRECT SPARK IGNITION, DUAL STAINLESS STEEL HEAT EXCHANGERS, GAS VALVE WITH SAFETIES, PLUMB EASY VALVE SET, DIRECT VENT WITH OUTDOOR VENT KIT AND CONDENSATION NEUTRALIZATION KIT. HEATER SHALL BE DESIGNED FOR USE WITH 115V/1-PHASE POWER. CAPACITY SHALL BE 15,000 TO 150,000 BTUH WITH AN ENERGY FACTOR OF 0.98.
- B. WATER HEATER FLUE AND COMBUSTION AIR INTAKE SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELD FITTINGS.

PART 3 - HVAC

- 3.1 FURNACE F-1
 - A. HORIZONTAL (UPFLOW), 96% AFUE, ENERGY STAR RATED, TWO-STAGE, NATURAL GAS-FIRED, DIRECT VENTED, MULTI-SPEED ECM BLOWER MOTOR, AMERICAN STANDARD GOLD ZM SERIES, MODEL AUPH2800A9V3V8 MAXIMUM CAPACITY 58,200 BTUH. PROVIDE WITH CONCENTRIC VENT ADAPTER KIT MODEL BAYAIR30AVENTA.
- 3.2 FURNACE F-2
 - A. HORIZONTAL (UPFLOW), 95% AFUE, ENERGY STAR RATED, TWO-STAGE, NATURAL GAS-FIRED, DIRECT VENTED, MULTI-SPEED ECM BLOWER MOTOR, AMERICAN STANDARD GOLD XI SERIES, MODEL ALH1150A9M2H18 MAXIMUM CAPACITY 38,000 BTUH. PROVIDE WITH CONCENTRIC VENT ADAPTER KIT MODEL BAYAIR30AVENTA.
- 3.3 EXHAUST FANS:
 - A. EF-1: ENERGY STAR RATED, LOW NOISE, CEILING MOUNT TYPE, FAN SHALL BE VARIABLE SPEED, DIRECT DRIVE, BRUSHLESS DC MOTOR, ACOUSTICALLY INSULATED AND AMCA CERTIFIED. PROVIDE FAN WITH CEILING GRILLE, 32-WATT FLUORESCENT LIGHT AND 4-WATT NIGHT LIGHT. NOISE LEVEL SHALL BE LESS THAN 1 SONE AT HIGH SPEED. FAN SHALL BE PANASONIC WHISPER-LITE SERIES MODEL FV-08VQL4.
 - B. KH-1: ENERGY STAR RATED, LOW NOISE, OVER RANGE KITCHEN HOOD. HOOD SHALL BE DIRECT DRIVEN, ACOUSTICALLY INSULATED AND AMCA CERTIFIED. PROVIDE HOOD WITH LIGHT AND GREASE FILTER. HOOD SHALL BE DESIGNED FOR HORIZONTAL OR VERTICAL DUCTING. NOISE LEVEL SHALL BE LESS THAN 4 SONES AT HIGH SPEED. HOOD SHALL BE AIR KING ESDQ SERIES/ESADA ACCESSIBLE SERIES OR EQUAL.
- 3.4 DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS. PROVIDE TURNING VANES WHERE SQUARE ELBOWS ARE USED. ACCESS DOORS AT ALL DUCT MOUNTED CONTROL DEVICES AND VOLUME DAMPERS AS REQUIRED FOR PROPER BALANCING OF THE SYSTEM. FLEXIBLE DUCT SHALL BE THERMAFLEX MODEL M-KF WITH 1 1/2" INSULATION, UL 911 LISTING AND MAXIMUM LENGTH OF 8'-0".

3.6 DIFFUSER, REGISTERS AND GRILLES

- A. SUPPLY DIFFUSERS SHALL BE TITUS MODEL TMSA OF STEEL CONSTRUCTION WITH MODEL AG-75 OPPOSED BLADE DAMPER AND ADJUSTABLE LOUVER VANES. SIZE AND CAPACITY AS NOTED ON THE DRAWINGS.
- B. SUPPLY REGISTERS SHALL BE TITUS MODEL 272RS OF STEEL CONSTRUCTION WITH MODEL AG-35 OPPOSED BLADE DAMPER AND ADJUSTABLE VANES IN THE HORIZONTAL AND VERTICAL DIRECTIONS. SIZE AND CAPACITY AS NOTED ON THE DRAWINGS.
- C. RETURN AIR GRILLES SHALL BE TITUS MODEL 50" EGG-CRATE TYPE WITH 1/2" ALUMINUM GRID (AND OPPOSED BLADE DAMPER) SIZE AND CAPACITY AS NOTED ON THE DRAWINGS.
- 3.7 CONTROLS: ELECTRONIC CONTROLS SHALL INCLUDE THERMOSTATS, CONTROL PANELS, RELAYS, TRANSFORMERS, SENSORS AND ACCESSORIES AS REQUIRED TO PERFORM THE SEQUENCES AS DESCRIBED BELOW. INSTALLATION OF CONDUIT, CONDUCTORS AND ELECTRICAL DEVICES SHALL CONFORM TO DIVISION 16000 - ELECTRICAL.
- A. THERMOSTAT SHALL BE TOUCH SCREEN, 7-DAY PROGRAMMABLE TYPE, HONEYWELL MODEL RH8500D.
- B. SEQUENCES-OF-OPERATION:
 - 1. BATHROOM EXHAUST FAN SHALL OPERATE UPON ACTIVATION OF ROOM LIGHT SWITCH. FAN SHALL OPERATE ON HIGH SPEED SUBJECT TO A (A.D.) TIME DELAY.
 - 2. KITCHEN EXHAUST FAN SHALL OPERATE UPON ACTIVATION OF ROOM SWITCH.
 - 3. FURNACE SHALL START AND MODULATE THE GAS-FIRED BURNER TO MAINTAIN SETPOINT (70 DEG HEATING, ADJUSTABLE) AS MEASURED AT THE ROOM THERMOSTAT.

PART 4 - EXECUTION

- 4.1 CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF WORK INCLUDING SIZES OF PIPING TO BE RE-USED. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DIFFERENCES FROM THE DESIGN DOCUMENTS ARE NOTED.
- 4.2 CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO THE START OF WORK.
- 4.3 ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- 4.4 CONTRACTOR SHALL INSTRUCT HOMEOWNER ON THE PROPER OPERATION AND MAINTENANCE OF ALL EQUIPMENT AT THE COMPLETION OF CONSTRUCTION AT A TIME CONVENIENT TO THE OWNER.
- 4.5 CONTRACTOR SHALL PROVIDE TWO COPIES OF PROJECT O&M MANUALS TO THE OWNER AT COMPLETION OF PROJECT.

DIVISION 1600 - ELECTRICAL

WORK INCLUDED - THE WORK TO BE PROVIDED UNDER THIS DIVISION INCLUDES:

- A. FEEDERS AND PANELS.
- B. POWER WIRING FOR MECHANICAL AND PLUMBING EQUIPMENT.

SCOPE - THIS WORK SHALL CONSIST OF THE FURNISHING OF ALL LABOR, MATERIALS AND SERVICE REQUIRED TO COMPLETE, READY FOR CORRECTION OPERATION, ALL ELECTRICAL WORK CALLED FOR BY THE ACCOMPANYING DRAWINGS AND SPECIFICATIONS. ALL ELECTRICAL SHALL BE PERFORMED IN ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE, STATE AND LOCAL CODES.

PERMITS, FEES AND INSPECTIONS - THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL PERMITS, PAY ALL GOVERNMENTAL AND STATE SALES TAXES AND FEES APPLICABLE. THE CONTRACTOR SHALL FILE ALL DRAWINGS, AND OBTAIN ALL NECESSARY APPROVAL FROM PROPER AUTHORITY OR AGENCY. HAVING JURISDICTION, OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION COVERING HIS WORK. THE CONTRACTOR SHALL SEE THAT ALL REQUIRED INSPECTIONS AND TESTS ARE MADE AND SHALL COOPERATE TO MAKE THESE TESTS AS THOROUGH AND AS READILY MADE AS POSSIBLE.

COORDINATION - ALL WORK SHALL BE CARRIED OUT IN CONJUNCTION WITH OTHER TRADES AND FULL COOPERATION SHALL BE GIVEN IN ORDER THAT ALL WORK MAY PROCEED WITH A MINIMUM OF DELAY AND INTERFERENCE.

GUARANTEES - ALL WORKMANSHIP AND MATERIALS SHALL BE FULLY GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL COMPLETION OF THE ENTIRE INSTALLATION COVERED BY THIS CONTRACT. SHOULD ANY DEFECTS OCCUR DURING THIS GUARANTEE PERIOD, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL DEFECTIVE EQUIPMENT, MATERIALS AND/OR WORK WITHOUT COST TO THE OWNER.

TEMPORARY LIGHT AND POWER - FURNISH AND INSTALL TEMPORARY ELECTRICAL POWER AND LIGHTING FOR USE BY ALL CONTRACTORS DURING THE COURSE OF CONSTRUCTION. ALL TEMPORARY WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE ARTICLES IN THE NATIONAL ELECTRICAL CODE, O.S.H.A. AND WITH ALL REQUIREMENTS OF ANY AUTHORITIES HAVING JURISDICTION OVER WORK.

MATERIALS AND WORKMANSHIP - ALL MATERIALS AND APPARATUS REQUIRED FOR THE WORK EXCEPT AS OTHERWISE SPECIFIED, SHALL BE NEW AND OF FIRST-CLASS QUALITY AND SHALL BE FURNISHED, DELIVERED, ERECTED, CONNECTED AND FINISHED IN EVERY DETAIL AND SO SELECTED AND ARRANGED AS TO FIT PROPERLY INTO THE BUILDING SPACES. WHERE NO SPECIFIC KIND OR QUALITY OF MATERIAL IS GIVEN, A FIRST-CLASS STANDARD ARTICLE AS ACCEPTED BY THE ARCHITECT SHALL BE FURNISHED. ALL EQUIPMENT AND MATERIALS SHALL BE SPECIFICATION GRADE AND BEAR THE UNDERWRITERS LABEL. ALL WORK SHALL BE OF A QUALITY CONSISTENT WITH GOOD TRADE PRACTICE AND SHALL BE INSTALLED IN A NEAT, WORKMANLIKE MANNER. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY WORK WHICH, IN HER OPINION, HAS BEEN INSTALLED IN A SUB-STANDARD, DANGEROUS OR UNSERVICEABLE MANNER. THE CONTRACTOR SHALL REPLACE SAID WORK IN A SATISFACTORY MANNER AT NO EXTRA CHARGE TO THE OWNER.

PENETRATION SEALANT - ALL PENETRATIONS SHALL BE SEALED WITH 3M INTUMESCENT FIRE BARRIER PENETRATION SEALANT, APPLIED PER MANUFACTURERS AND U.L. GUIDELINES.

MATERIALS:

GENERAL - ALL MATERIALS AND EQUIPMENT PROVIDED UNDER THIS SECTION SHALL BE NEW, FIRST GRADE, BEST OF THEIR SECTION AND SHALL MEET THE REQUIREMENTS OF ALL STANDARDS SET UP TO GOVERN THE MANUFACTURE OF ELECTRICAL MATERIALS AND COMPLY WITH ALL APPLICABLE CODES AND STANDARDS. ALL EQUIPMENT AND MATERIALS SHALL BE SPECIFICATION GRADE AND BEAR UNDERWRITERS (U.L.) LABEL.

POWER - FROM UTILITY AT 240/120V, 1-PHASE, 3 WIRE IS AVAILABLE FROM EXISTING UTILITY METER AND METER CAN AS SHOWN ON THE DRAWINGS

WIRE - CONDUCTORS SHALL BE U.L. LISTED, 600 VOLTS, 90 DEG. C., SINGLE CONDUCTOR TYPE THWN/THHN, 98% CONDUCTIVITY ANNEALED UNCOATED COPPER WITH PVC INSULATION COVERED WITH NYLON SHEATH JACKBOLT TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UNDERWRITERS LABORATORIES STANDARD 83. WIRE SHALL BE IDENTIFIED BY SURFACE MARKING, INDICATING MANUFACTURERS IDENTIFICATION, CONDUCTOR SIZE AND METAL, VOLTAGE RATING, U.L. SYMBOL AND TYPE DESIGNATION. CONDUCTORS SHALL BE STRANDED. MINIMUM SIZE SHALL BE #12AWG UNLESS OTHERWISE INDICATED. MANUFACTURED BY ESSEX, ROME CABLE, TRIANGLE CABLE OR GENERAL CABLE.

NON METALLIC SHEATHED CABLE - TYPE - NM-B CABLE SHALL BE OF MAXIMUM OPERATING VOLTAGE: 600 VOLTS, MAXIMUM CONDUCTOR OPERATION, TEMPERATURE: 90°C DRY (CONDUCTOR AMPACITY IS LIMITED TO 60°C, IN ACCORDANCE WITH NEC).

ARMORED CABLE (AC) - ARMORED CABLE SHALL BE OF GALVANIZED STEEL INTERLOCKING ARMOR CONSTRUCTION, COLOR CODED THERMOPLASTIC INSULATED COPPER CONDUCTORS, 90 DEG. C, 600 VOLTS. CONDUCTOR SIZES SHALL BE AS INDICATED ON THE DRAWINGS. IF NOT INDICATED, THE SIZES OF POWER AND LIGHTING CONDUCTORS SHALL NOT BE LESS THAN SIZE #12AWG. MANUFACTURED BY AMERICAN FLEXIBLE CONDUIT, TRIANGLE OR SOUTHWIRE. CONNECTORS SHALL BE SQUEEZE TYPE, DIE CAST ZINC, OR MALLEABLE IRON - CADMIUM PLATED, MANUFACTURED BY O-Z GEDNEY, APPLINGTON OR THOMAS-BETTS.

FITTINGS - CONDUIT STRAPS SHALL BE SNAP-TYPE, DOUBLE RIBBED STEEL -ZINC PLATED, METAL CLAD CABLE AND FLEXIBLE METALLIC CONDUIT CONNECTORS SHALL BE MALLEABLE IRON-ZINC PLATED, MALE HUB THREADS WITH LOCKNUT.

BOXES - RECESSED OUTLET BOXES SHALL BE DRAWN STEEL, GALVANIZED WITH A MINIMUM DEPTH OF 1-1/2 INCHES. MINIMUM SIZE SHALL BE 4 INCH X 4 INCH SQUARE. PROVIDE AND INSTALL PLASTER RINGS AS REQUIRED. OUTLET BOXES FOR SURFACE MOUNTED SWITCHES AND RECEPTACLES SHALL BE TYPE FD, CAST FERROALLOY WITH THREADED HUBS. PROVIDE GASKETED COVER AS REQUIRED.

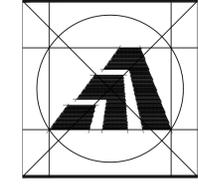
SWITCHES - SPECIFICATION GRADE, 120-277VAC 20 AMP, SINGLE POLE. COLOR SHALL BE (IVORY) (GRAY) (WHITE) (BROWN) (RED). RECEPTACLE AND SWITCH COVER PLATES SHALL BE (SMOOTH THERMOPLASTIC) (STAINLESS STEEL 302) (IVORY) (RED) (LABELLED EMERGENCY) (WHERE INDICATED).

PANELBOARDS - PANELBOARDS: NEMA PB 1, CIRCUIT BREAKER TYPE. USE ALL NEW PANELS AND NEW CIRCUIT BREAKERS NOTED IN PANELS FOR ALL NEW CIRCUITS.

IDENTIFICATION - PROVIDE AND INSTALL MARKERS FOR ALL CONDUITS. MARKERS SHALL BE "BRADY" TYPE, ADHESIVE-BACKED, PLASTIC-FACED OF SUITABLE COLOR. MARKER SHALL IDENTIFY SYSTEM AND ELECTRICAL CHARACTERISTICS. INSTALL MARKERS AT POINT OF ORIGIN, TERMINATION, ADJACENT TO EACH INTERMEDIATE SPLICE AND ALL BOXES IN RUN. IDENTIFY ALL CONDUCTORS AT ORIGIN, TERMINATION AND AT INTERMEDIATE BOXES BY MEANS OF "BRADY" TYPE, PRESSURE SENSITIVE, PLASTIC COATED FACE, STICK-ON LABELS EXCEPT FEEDERS SHALL HAVE PRODUCT TAGS ENGRAVED WITH CIRCUIT DESIGNATIONS AND ATTACHED WITH PLASTIC TIE-WRAPPS.

TESTING - UPON COMPLETION OF HIS WORK, CONTRACTOR SHALL CONDUCT (WITH OTHER RELATED CONTRACTORS) OPERATING TESTS OF ALL ELECTRICALLY OPERATED OR CONTROLLED EQUIPMENT FOR APPROVAL. AT SUCH TIME AS THE OWNER MAY DIRECT, EQUIPMENT SHALL OPERATE IN ACCORDANCE WITH THE REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS. TESTS SHALL BE PERFORMED IN THE PRESENCE OF OWNER. THE CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, AND INSTRUMENTS REQUIRED FOR ELECTRICAL PORTION OF TESTS. DEFECTIVE MATERIALS AND WORKMANSHIP DISCLOSED BY TEST SHALL BE CORRECTED AT CONTRACTORS EXPENSE.

PROTECTIVE PAINTING - TOUCH-UP FACTORY PAINTED EQUIPMENT THAT HAS BEEN DAMAGED DURING HANDLING OR INSTALLATION. FEATHER DAMAGED AREA AND APPLY PRIMER PLUS TWO FRESH COATS TO MATCH EXISTING FINISH.



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Sheet Title:
MEP SPECIFICATIONS

APPLICATION # 1020

DAGGS RESIDENCE
189 Hillside Ave.
Milford, Connecticut 06460

**STATE OF CONNECTICUT
DEPARTMENT OF HOUSING
COMMUNITY DEVELOPMENT BLOCK GRANT
DISASTER RECOVERY PROGRAM
(CDBG-DR)**

Date:
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Drawn By: RJS/JKH
Approved By:

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