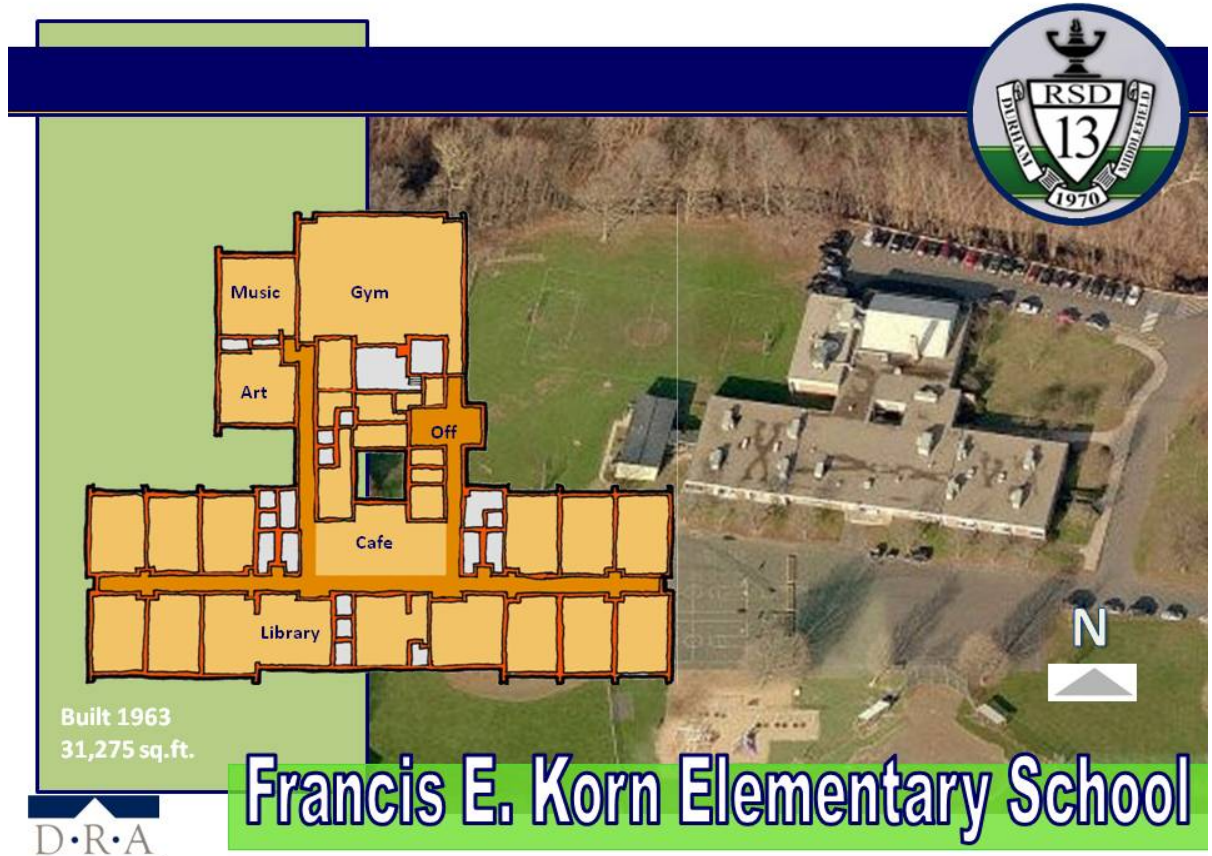


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Finally, an **Asbestos Hazard Emergency Response Act (AHERA) report** has been made for this facility. According to the AHERA report for Brewster School, **hazardous materials (asbestos/black mastic) ARE present** in the Faculty Lounge, and **planning for renovation work should include hazardous material removal.** The AHERA Program identifies known sources of hazardous materials in a building, identifies their condition, and allows schools to actively manage these materials; updates are made every six months, with major studies every three years.



### Korn School

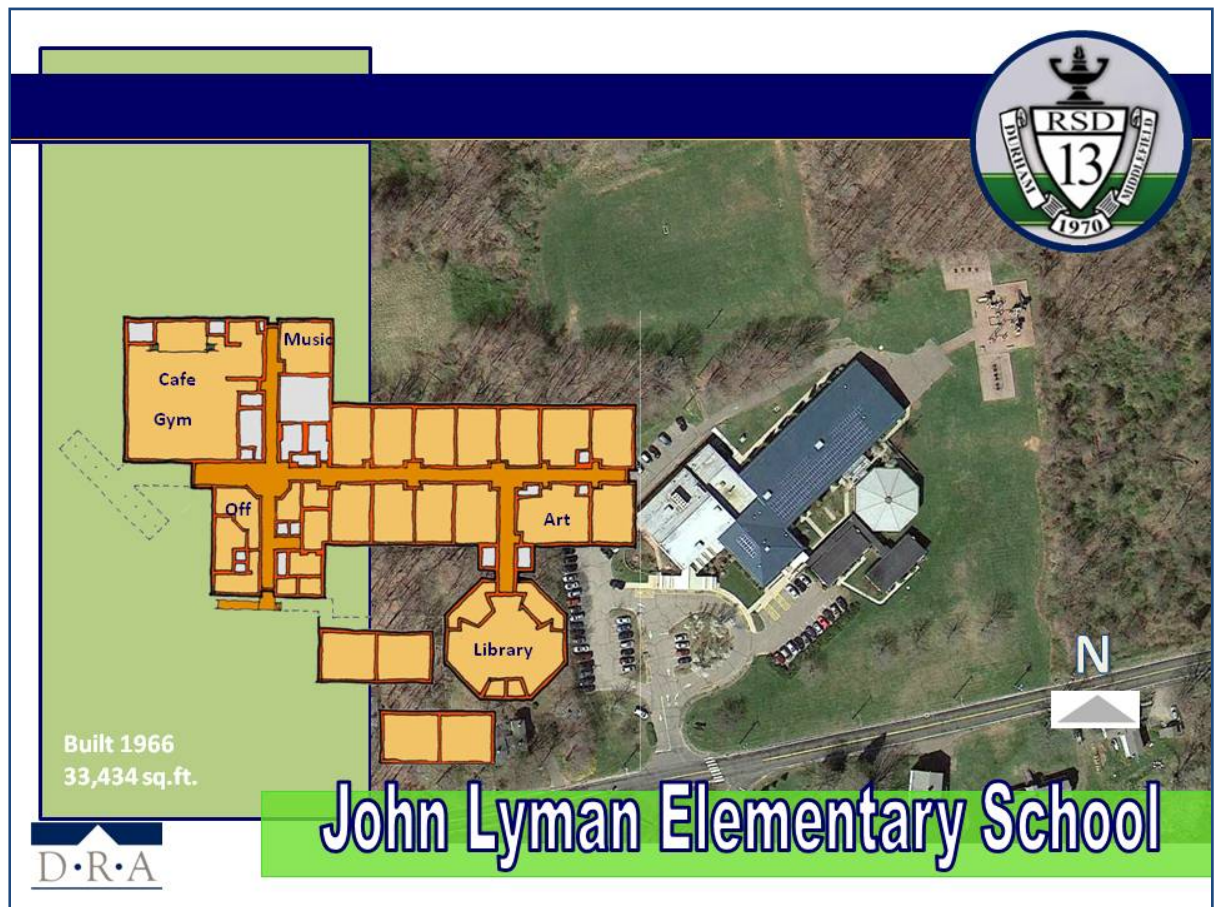
Korn School is located on a 12-acre site; originally constructed in 1963 with an addition in 2003, and two modular classrooms added in 2001; the building now measures 31,274 sq.ft. (not including a small courtyard of 539 sq. ft., or modular classrooms).

Some carpeted corridor areas are showing significant wear and should be replaced, along with deteriorating casework and wardrobes.

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The building has multiple accessibility issues and concerns –non-ADA-compliant toilet facilities and exterior entrances are included in the listing of challenges facing this structure.

Finally, an **Asbestos Hazard Emergency Response Act (AHERA) report** has been made for this facility. According to the AHERA report for Korn School, **hazardous materials ARE present** in various parts of the building and **planning for renovation work should include hazardous material removal.** The AHERA Program identifies known sources of hazardous materials in a building, identifies their condition, and allows schools to actively manage these materials; updates are made every six months, with major studies every three years.



### Lyman School

Lyman School sits on a 14-acre site, constructed in 1966 with an addition in 1996; a total of four modular classrooms have been added in 1999 and 2001. The building is 33,434 sq.ft. in size, without modular classrooms.

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## 2.4 Summary of the MEP Analysis Report

### Brewster School

Brewster School's mechanical, electrical, and plumbing systems have served the community well. Many systems are roughly 15-25 years old, with a few more recent



replacements (e.g., the water heater and some site lighting). However, some systems are nearing or past their useful life expectancy: for example, the boilers, heating hot water pumps, administrative air handling system, kitchen hood exhaust system (as well as other exhaust fans), and an inadequate fire protection system; the boilers in particular constitute a code violation. Air flow problems in classrooms create a noise issue, and there is also a need to renovate the problematic roof vent piping near the kitchen, and related systems -- including the air handling units, chiller, ventilators, boiler, and exhaust fans -- will also eventually need

planned replacement. A full-coverage sprinkler system and an emergency generator are needed, and efficiency improvements to some plumbing and electrical systems could result in a reduced carbon footprint and cost savings.

### Korn School

A slightly newer building, Korn School has MEP systems which are mostly about 10-15 years old and generally in good condition. However, some systems are nearing or



past their useful life expectancy: for example, the administrative air handling system and the kitchen hood exhaust system. Other systems are showing wear -- e.g., leaks are developing in the plumbing hydro-tank -- and parts issues also require attention (the need for kitchen grease interceptors, certain plumbing valves, etc.). Related systems including

the air handling units, chiller, ventilators, boiler, and exhaust fans, will also eventually need planned replacement. A full-coverage sprinkler system and an emergency generator are needed, and efficiency improvements to some plumbing and electrical systems could result in a reduced carbon footprint and cost savings.